



**CITY COUNCIL AGENDA  
CITY OF BELLEVILLE, ILLINOIS**

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**MONDAY, NOVEMBER 21, 2022**

**7:00PM**

**COUNCIL CHAMBERS**

**1. CALL TO ORDER BY MAYOR AND EXPLANATION OF DISASTER PROCEDURES**

**REMINDER: SINCE THE MEETINGS ARE BEING VIDEOTAPED IT IS IMPORTANT THAT EVERYONE SPEAK DIRECTLY INTO A MICROPHONE WHEN SPEAKING.**

**2. ROLL CALL ALDERMEN**

**3. ROLL CALL DEPARTMENT HEADS**

**4. PLEDGE OF ALLEGIANCE**

**5. PUBLIC HEARING**

**6. PUBLIC PARTICIPATION (2-3 MINUTES PER PERSON) - See back page for rules.**

**7. PRESENTATIONS, RECOGNITIONS & APPOINTMENTS**

7-A. Small Business Administration (SBA) presentation on SBA Disaster Program

7-B. Mayor Gregory will read a proclamation for Small Business Saturday, November 26, 2022

7-C. Mayor Gregory will recommend the appointment of Jason Brownlee to fill a vacancy on the Human Relations Commission and to serve the remainder of a term expiring on May 17, 2024

7-D. Motion to approve Mayor Gregory's appointment of Lloyd Stinson as Fire Chief, effective November 22, 2022 at 12:01 a.m., pursuant to

10-2.1-4 of the Illinois Municipal Code (65 ILCS 5/10-2.1-4) and Section 33.041(C) of the City's Revised Code of Ordinances, and finding that such position requires technical training or knowledge as set forth in the applicable job description within the meaning of Section 31.031 (A) of the City's Revised Code of Ordinances

**8. APPROVAL OF MINUTES**

8-A. Motion to approve City Council and Executive Session Minutes of November 7, 2022

**9. CLAIMS, PAYROLL AND DISBURSEMENTS**

9-A. Motion to approve claims and disbursements in the amount of **\$4,220,740.10** payroll in the amount of **\$936,499.59**.

**10. REPORTS**

**11. ORAL REPORTS FROM STANDING COMMITTEES, SPECIAL COMMITTEES AND ANY OTHER ORAL REPORTS FROM THE ELECTED OFFICIALS OR STAFF**

11-A. MOTIONS FROM **TRAFFIC**

11-A(1). Motion for "No Parking" east of Abraham Court for 70 feet on the south side of Gettysburg

11-A(2). Motion for a Three-Way Stop Sign at Commons Parkway & Pine Valley intersection

11-A(3). Motion to create a School Speed Zone at Emge School (7401 Westchester Dr.) from S. 74<sup>th</sup> St. to Sheffield Dr

11-B. MOTION FROM **MASTER SEWER**

11-B(1). Motion to approve a contract with Crawford, Murphy & Tilly of St. Louis to upgrade our Alum Chemical Feed systems at both Treatment Plants (not to exceed \$69,910.00)

11-C. MOTION FROM **BOARD OF FIRE & POLICE COMMISSIONERS**

- 11-C(1). Motion to approve the lateral hiring of Probationary Police Officer Jarae Weatherby effective Tuesday, November 22, 2022 at 12:01am

11-D. MOTIONS FROM **FINANCE**

- 11-D(1). Motion to approve Workmen's Compensation and Property/Liability Insurance Renewal with ICRMT, as recommended by our broker
- 11-D(2). Motion to waive the formal bidding procedures and utilize the Sourcewell contract to purchase a new 2023 Freightliner M2 with a New Way Sidewinder 31cu yd automated side loader body for \$290,200.00
- 11-D(3). Motion to waive the formal bidding procedures and utilize the Sourcewell contract to purchase a new 2023 Ford F550 with a Viking Cives Midwest dump body, salt spreader, and snowplow in the amount of \$118,717.00

11-E. MOTION FROM **POLICE & FIRE COMMITTEE**

- 11-E(1). Motion to approve the purchase of the 2000 E-One Custom Pumper that is currently on lease from Banner Fire Equipment in the amount of \$30,000.00

11-F. MOTIONS FROM **LIBRARY BOARD**

- 11-F(1). Motion to approve an easement with IDOT for ADA Sidewalk improvements at 121 East Washington Street
- 11-F(2). Motion to approve a contract for the installation of a solar array at 121 East Washington Street

11-G. MOTIONS FROM **PLANNING COMMISSION**

11-G(1). **Club Car Wash Development:** Site Plan approval for the construction of an approximate 5,394 square foot Club Car Wash with 20 associated vacuum stalls on an approximate 60,775 square foot lot within a C-4 (Commercial) district, 2500 Green Mount Commons Drive (Parcel: 09-19.0-102-001) Ward 7. *Planning Commission recommended Approval, with a vote of 7-0.*

11-G(2). **Immuno Tek Bio Centers:** Site Plan approval for the construction of an approximate 9,000 square foot Plasma Donor Center (Medical Office Building), with 56 parking spaces on an approximate 103,237 square foot lot within a C-2 (Heavy Commercial) district, 5510 North Belt West (Parcel: 08-18.0-100-031) Ward 8. *Planning Commission recommended Approval, with a vote of 7-0.*

12. COMMUNICATIONS

13. PETITIONS

14. RESOLUTIONS

14-A. **RESOLUTION 3461**

Resolution for Warranty Deed and Temporary Construction Easement  
121 East Washington Street, Belleville, Illinois

15. ORDINANCES

15-A. **ORDINANCE 9098-2022**

An Ordinance Amending Article VII (Traffic Code), Chapter 76 (Parking Schedules) of the Revised Ordinances of the City of Belleville, Illinois as Amended, by Amending Portions of Sections Thereof

15-B. **ORDINANCE 9099-2022**

An Ordinance Amending Article VII (Traffic Code), Chapter 75 (Traffic Schedules) of the Revised Ordinances of the City of

Belleville, Illinois as Amended, by Amending Portions of Sections Thereof

15-C. **ORDINANCE 9100-2022**

An Ordinance Amending Article VII (Traffic Code), Chapter 75 (Traffic Schedules) of the Revised Ordinances of the City of Belleville, Illinois as Amended, by Amending Portions of Sections Thereof

**16. UNFINISHED BUSINESS**

**17. MISCELLANEOUS & NEW BUSINESS**

17-A. Motor Fuel Claims in the Amount of **\$8,614.67**.

**18. EXECUTIVE SESSION**

18-A. The City Council may go into executive session to discuss the appointment, employment, compensation, discipline, performance, or dismissal of specific employees (5 ILCS 120/2(c)(1)), collective negotiation matters (5 ILCS 120/2(c)(2)), purchase or lease of property (5 ILCS 120/2(c)(5)), sale or lease of property (5 ILCS 120(c)(6)) and pending and/or probable/imminent litigation (including civil and workers' compensation) (5 ILCS 120/2(c)(11)).

**19. ADJOURNMENT (ALL QUESTIONS RELATING TO THE PRIORITY OF BUSINESS SHALL BE DECIDED BY THE CHAIR WITHOUT DEBATE, SUBJECT TO APPEAL)**

**PUBLIC PARTICIPATION (2-3 MINUTES PER PERSON)**

- (a) Members of the public may address the City Council in accordance with Section 2.06(g) of the Illinois Open Meetings Act (5 ILCS 120/2.06(g));
- (b) Public comments are limited to three (3) minutes per speaker;
- (c) The subject of public comments shall be reasonably related to matters(s) identified on the meeting agenda and/or other city business;
- (d) Repetitive public comments should be avoided, to the extent practical, through adoption of prior public comment (e.g. agreeing with prior speaker);
- (e) The following conduct is prohibited during public participation:
  - Acting or appearing in a lewd or disgraceful manner;
  - Using disparaging, obscene or insulting language;
  - Personal attacks impugning character and/or integrity;
  - Intimidation;
  - Disorderly conduct as defined in Section 130.02 of this revised code of ordinances.
- (f) Any speaker who engages in such prohibited conduct during public participation shall be called to order by the chair or ruling by the chair if a point of order is made by a sitting alderman.

# Proclamation

*Whereas, the City of Belleville, Illinois, celebrates our local small businesses and the contributions they make to our local economy and community; and*

*Whereas, according to the United States Small Business Administration, there are 32.5 million small businesses in the United States. Small businesses represent 99.7% of firms with paid employees. Small businesses are responsible for 62% of net new jobs created since 1995 and small businesses employ 46.8% of the employees in the private sector in the United States; and*

*Whereas, 79% of consumers understand the importance of supporting the small businesses in their community on Small Business Saturday®, 70% report the day makes them want to encourage others to Shop Small®, independently owned retailers, and 66% report that the day makes them want to Shop Small all year long; and*

*Whereas, 58% of shoppers reported they shopped online with a small business and 54% reported they dined or ordered takeout from a small restaurant, bar, or café on Small Business Saturday in 2021; and*

*Whereas, the City of Belleville, Illinois, supports our local businesses that create jobs, boost our local economy, and preserve our communities; and*

*Whereas, advocacy groups, as well as public and private organizations across the country have endorsed the Saturday after Thanksgiving as Small Business Saturday.*

**NOW THEREFORE I, Patty Gregory, Mayor of the City of Belleville, do hereby proclaim November 26, 2022, as **Small Business Saturday** in Belleville, and urge the residents of our community, and communities across the country, to support small businesses and merchants on Small Business Saturday and throughout the year.**

**IN WITNESS WHEREOF, I have hereunto set my hand and caused the corporate seal of the City of Belleville to be affixed this 14<sup>th</sup> day of November, in the year of our Lord two thousand and twenty-two.**

*Patty Gregory*  
Patty Gregory, Mayor  
Dated this 14<sup>th</sup> day of November, 2022



**CITY OF BELLEVILLE, ILLINOIS  
COUNCIL MEETING MINUTES  
COUNCIL CHAMBERS – CITY HALL  
NOVEMBER 7, 2022 – 7:00 PM**

Mayor Gregory called this meeting to order at 7:02 p.m.

City Clerk Gain Meyer called roll. Members present on roll call: Alderman Hazel, Alderman Whitaker, Alderwoman Duco, Alderman Randle, Alderman Ferguson, Alderman Anthony, Alderman Ovian, Alderman Dintelman, Alderwoman Schaefer, Alderwoman Stiehl, Alderman Elmore, Alderman Weygandt, Alderwoman Sullivan, Alderwoman Osthoff.

Excused: Alderman Rothweiler, Alderwoman Eros.

**ROLL CALL DEPARTMENT HEADS**

City Clerk Gain Meyer called roll of Department Heads: City Treasurer Biermann, City Attorney, Garrett Hoerner; Police Chief, Matt Eiskant; Interim Fire Chief, Rick Wangelin; Finance Director, Jamie Maitret; Director of Public Works, Jason Poole; Director of Wastewater, Randy Smith; Library Director, Leander Spearman; Asst. Director of IT, Ty Buckner; City Engineer, Sal Elkott; Director of Health, Housing & Building, Scott Tyler; Director of Economic Development, Planning & Zoning, Clifford Cross; Director of Human Resources, William Clay.

Excused: Director of Communications & PR, Kathy Kaiser.

**PLEDGE**

**PUBLIC HEARING**

None.

**PUBLIC PARTICIPATION**

None.

**PRESENTATIONS, RECOGNITIONS & APPOINTMENTS**

Mayor Gregory read a proclamation recognizing Racial Harmony's 30<sup>th</sup> Anniversary.

Mayor Gregory recognized the Character word of the month "PEACE" working and living in harmony with each other.

Alderwoman Schaefer made a motion second by Alderwoman Stiehl to approve Mayor Gregory's recommendation to reappointment of Ja'Mecia Laws to serve a 2-year term on the Human Relations Commission.

Members voting aye on roll call: Hazel, Whitaker, Duco, Randle, Ferguson, Anthony, Ovian, Dintelman, Schaefer, Stiehl, Elmore, Weygandt, Sullivan, Osthoff. (14)

## APPROVAL OF MINUTES

Alderman Schaefer made a motion second by Alderman Stiehl to approve City Council Meeting Minutes from October 17, 2022.

All members present voted aye.

## CLAIMS, PAYROLL AND DISBURSEMENTS

Alderman Whitaker made a motion second by Alderman Anthony to approve claims and disbursements in the amount of **\$2,691,268.24** and payroll in the amount of **\$923,654.62** for October 21, 2022, and **\$1,964,881.97** for November 4, 2022.

**Finance Director Jamie Maitret:** The one payroll is obviously quite a bit larger than the other because that includes the Fire Department Union back pay that was settled months ago.

Members voting aye on roll call: Whitaker, Duco, Randle, Ferguson, Anthony, Ovia, Dintelman, Schaefer, Stiehl, Elmore, Weygandt, Sullivan, Osthoff, Hazel. (14)

## REPORTS

Alderman Schaefer made a motion second by Alderman Dintelman to approve Treasurer Report and Statement of Cash and Investment Reports September 2022.

All members voted aye. Motion carries.

Alderman Schaefer made a motion second by Alderman Dintelman to approve the City Attorney report dated November 3, 2022.

All members voted aye. Motion carries.

## ORAL REPORTS

### TRAFFIC

Alderman Elmore made a motion second by Alderman Schaefer to approve a Handicap Parking Location at the first meter NW corner of East Main Street and North Church Street.

All members voted aye. Motion carries.

## ADMINISTRATION

Alderman Randle made a motion second by Alderman Schaefer to purchase 6905 West Main Street (Parcel: 07-12.0-212-050) from St. Clair County Trustee in the amount of \$795.00 for possible demolition or development agreement.

**Alderman Hazel:** Has this gone through legal or are we getting this property for the purpose of demolition or is this just for the possibility of demolition or a development agreement because my concern here is that we should not be in the real estate business. We should not be buying up properties just for the purpose of a possible development agreement.

**City Clerk Gain Meyer:** We are buying it for demolition, but in the meantime, we have a party interested possibly so that is why I put both on there since I do not know where it is going to end up.

**Alderman Hazel:** Has this gone through legal? For us to obtain the property for demo, the County owns it now.

**City Clerk Gain Meyer:** We do not have to go through the Court system. This costs us \$795 instead of \$7,000 to take it through the Court system. We were getting ready to start the Court with Lloyd and this came on the rolls with the County Trustee so that is why we called them. As soon as we know it's their property, we call them to purchase.

**Alderman Hazel:** I was just cautious when purchasing property and selling property for a profit.

**City Clerk Gain Meyer:** That was not the intent, but I did not want anyone to be surprised if that happened because we did get someone who said they were interested.

**Mayor Gregory:** This has been going on for years, buying property - - -

**Alderman Hazel:** Well, if it has, I would not want it to continue.

**Mayor Gregory:** That was one thing that - - -

**City Clerk Gain Meyer:** I bought twenty properties this year from the County Trustee for demolition.

**Mayor Gregory:** But they are up for demolition we are just waiting for the Court system to get those done. We have the money set aside.

**Alderman Ovian:** What about the property itself, is there any asbestos.

**City Clerk Gain Meyer:** Raffi, until we own it, we do not know that.

**Alderman Ovian:** When we sell it is it up to the buyer, if he so chooses to purchase it, to go in there and pay for that?

**City Clerk Gain Meyer:** That is between him and the EPA but normally if you do not disturb the asbestos, you are not required to remove it. It is required to do upon demolition or if you disturb it. So, let's say it's the siding and you do not touch the siding or you encapsulate it, that is sufficient with the EPA, they do not necessarily say you have to do anything unless it is disturbed.

**Alderman Ovian:** I understand what you are saying, but he will have to pay for it or whoever, if somebody wants to buy it, it is on them, not the city.

**City Clerk Gain Meyer:** If the Development Agreement is entered into that would all be part of that discussion. At this point we do not know - - we are buying this for demolition. Somebody was interested so I thought we should disclose it if they are an interested party.

Members voting aye on roll call: Duco, Randle, Ferguson, Anthony, Ovian, Dintelman, Schaefer, Stiehl, Elmore, Weygandt, Sullivan, Osthoff, Whitaker. (13)

Members voting abstain on roll call: Hazel (1)

Motion carries.

Alderman Whitaker made a motion second by Alderman Ferguson to approve the Committees & Commissions Calendar for 2023.

All members voted aye. Motion carries.

Alderwoman Schaefer made a motion second by Alderman Ferguson to approve Administration to provide a Letter of Support for Heartlands Conservancy's application for the US Department of Agriculture's Forest Service "Landscape Scale Restoration Competitive Process"

All members voted aye. Motion carries.

## **ECONOMIC DEVELOPMENT & ANNEXATION COMMITTEE**

Alderman Randle made the following motions second by Alderwoman Schaefer to approve the acceptance of the Belle City Fitness Collaboration (BCFC) Request for Proposal Agreement for 407 E. Lincoln

A motion to approve the Request for Proposal and enter into a contract to utilize the services of Hickey Global to complete the development of the Citywide Economic Development Strategic Plan

**Alderman Hazel:** I have a question for 11(c)1, we may not be at the stage yet, are we waiting on a site plan, I was curious, the parking lot if we have made an agreement yet on how many parking spaces.

**Director of Economic Development, Planning & Zoning, Clifford Cross:** Draft process we are working on 407 Lincoln it was clarified that it was for the acquisition of the building only and not the parking lot, the parking requirements will have to meet the requirements of the Zoning Ordinance which in downtown can be used for public parking. It does meet the parking requirements (inaudible).

**Alderman Hazel:** Will we be making an agreement with the property owner for use of parking spaces or will we be selling part of that parking lot for that use.

**Director of Economic Development, Planning & Zoning, Clifford Cross:** We will not sell the parking lot, that is not the intent. There will not be reserved parking spaces as part of the agreement so it will be first come, first served. The beauty of the model of this plan is it is really a perfect scenario for a shared parking ratio because most of her business is in the morning and later in the afternoon is when the downtown businesses would be utilizing that so actually it is the perfect model for shared parking type of ratio which is exactly why we didn't want to sell. We want to keep that parking lot under the control of the city, and she may have some things that she does out there, but she cannot obstruct any of the available parking spaces. That is the intent of the structure of the agreement. Throughout the process of this and the other building that we have started the RFP process I have seen it done different ways, how do you best repurpose and utilize City buildings that are basically a black hole in the middle of an area and how do you anchor a neighborhood, there was some initial thoughts do you just RFP it and provide the building to the respondent who then rehabs it and uses it, but throughout the discussions I think the Committee and the City felt that to be fiscally responsible to the citizens of the City, we couldn't simply give away the building. What we developed was a formula. The formula is really a credit as opposed to entering into a Development Agreement and providing supplemental funding to a rehab. What this credit basically did is we estimated the newly generated taxes based on the improvements based on a 20% increase and then we determined what the potential appraised value would be and then it was reduced to one-third of that which is what the County does for taxes, that is how they generate their assessment number then they attach the multiplier to it, we took the projected multiplier 11.5% which in a sense in this case equal an approximate \$5,000 a year tax bill that we could generate each year after it gets back on the tax rolls. What we then did was to get her a seven-year credit, gave her seven-years because of the two years it would potentially take to rehab the building and get it back on the tax rolls. Long story short, what that gave us was roughly \$36,000 credit that we then took off what the current assessed value of \$120,000, so the acquisition cost then becomes approximately \$80,000 of her initial commitment. The logic behind doing that is, if you paid full price for that building, based upon what it appraised for today, I do not know if anybody could put in the improvement value to get a development down in that area that would stabilize that neighborhood. Logic was to provide her with upfront equity to do those improvements, create a development that stabilizes that area and now becomes an anchor for that neighborhood area. That was the logic behind, it is no more risk than if we did a Development Agreement where we gave them \$40-50,000 in addition to whatever they had for a building they already own. In my opinion, members of the Committee may feel different, it is less risk for the City because we still have the equity on the building for a fallback if we need to and for some reason if she defaulted, it is just based off what the price was that we would ask or on an appraised value. We felt like it was a good model and I think the Committee felt it was a model we could look at for future for developments.

Members voting aye on roll call: Randle, Ferguson, Anthony, Ovian, Dintelman, Schaefer, Stiehl, Elmore, Weygandt, Sullivan, Osthoff, Hazel, Whitaker, Duco. (14)

Motion carries.

## **ZONING BOARD OF APPEALS**

**48-OCT22 – Victoria Martin:** Request for a Special Use Permit to operate an Air BNB at 1641 North Charles Street (08-15.0-419-028) located in a “A-1” Single-Family Residence District. (Applicable sections of the zoning code: 162.094, 162.515) Ward 1 *Zoning Board of Appeals recommended Approval IN THE NAME OF THE APPLICANT ONLY with all members present voting 4-0*

**49-OCT22 – City of Belleville Zoning Code Amendment:** Request for amendments of Title XV (Land Usage) of the Revised Ordinances of the City of Belleville, Illinois, Sections 162.006 “Definitions”, 162.168 “Permitted Uses”, 162.233 “Special Uses”, 162.247 “Permitted Uses”, 162.263 “Special Uses” and 162.277 “Permitted Uses”. *Zoning Board of Appeals recommended Approval, with all members present voting 4-0*

Alderman Whitaker made a motion second by Alderwoman Schaefer to approve requests.

All members voted aye. Motion carries.

## **STREETS & GRADES**

Alderman Randle made a motion second by Alderman Weygandt to approve an agreement with Illinois Public Works Mutual Aid Network (IPWMAN) for disaster services, as Needed.

Members voting aye on roll call: Ferguson, Anthony, Ovia, Dintelman, Schaefer, Stiehl, Elmore, Weygandt, Sullivan, Osthoff, Hazel, Whitaker, Duco, Randle. (14)

Motion carries.

## **COMMUNICATIONS**

### **GOT BOLTS SKATEBOARD CONTEST – 05/20/2023**

Request from The Main Street Beat to change the date of their skateboard contest to Saturday, May 20, 2023

### **ST. AUGUSTINE’S PARISH PICNIC – 09/23/2023**

Request from St. Augustine of Canterbury Church to host their Parish Picnic, Saturday, September 23, 2023, 12:00pm to 11:00pm. Additional request: picnic tables and trash toters.

Alderwoman Schaefer made a motion second by Alderman Weygandt to approve these requests as read.

All members voted aye.

**PETITIONS**

None.

**RESOLUTIONS**

None.

**ORDINANCES**

Alderman Randle made a motion second by Alderwoman Schaefer to read by Title only 9094, 9096 and 9097 as a group.

All members voted aye.

**ORDINANCE 9094-2022**

An Ordinance Amending Article VII (Traffic Code), Chapter 76 (Parking Schedules) of the Revised Ordinances of the City of Belleville, Illinois as Amended, by Amending Portions of Sections Thereof

**ORDINANCE 9096-2022**

A Zoning Ordinance in RE Case #48-OCT22-Victoria Martin

**ORDINANCE 9097-2022**

A Zoning Ordinance in RE Case #49-OCT22-City of Belleville Zoning Code Amendment

Alderwoman Schaefer made a motion second by Alderman Weygandt to approve the Ordinances as read.

Members voting aye on roll call: Anthony, Ovian, Dintelman, Schaefer, Stiehl, Elmore, Weygandt, Sullivan, Osthoff, Hazel, Whitaker, Duco, Randle, Ferguson. (14)

**UNFINISHED BUSINESS**

NONE.

**MISCELLANEOUS & NEW BUSINESS**

Alderman Ferguson made a motion second by Alderman Elmore to approve Motor Fuel Claims in the Amount of **\$17,801.11**.

Members voting aye on roll call: Ovian, Dintelman, Schaefer, Stiehl, Elmore, Weygandt, Sullivan, Osthoff, Hazel, Whitaker, Duco, Randle, Ferguson, Anthony. (14)

**Alderman Ovian:** We have a situation right now where we got five tablets that the Housing Department has where we have not been able to get anybody trained to use them. Under the GIS program that we sign a \$10,000 per year with TWM for the first three years for support and program does that include the training of the Housing people? Or do we have to go outside?

**Director of Health, Housing & Building, Scott Tyler:** Software that we bought, Mr. Markovich told us that he was going to have us training on that before he left. I had a discussion with him when I heard he was leaving. I called him, and he was on vacation. I know Ty is familiar with it,

it is the same software the Police Department uses, but he is just so busy right now, if he could just sit down and work with me with it and then I could show the Housing Inspectors how to use it, that is where we are. Scott said he had everything downloaded into the software, all the forms that they use and it would be just a matter of training me to begin with and then I could show these guys how to use it, but right now I do not have any software in there, and of the paperwork we need or the forms that we filled out and like I said, I don't even know where Ty is with that. When Scott Markovich said he was leaving I specifically called him and asked him about that, and he said we will take care of it and got down to a week left and he went on vacation.

**Mayor Gregory:** I will tell you we have been advertising for IT and we have several very good candidates that have applied. It is still open right now and when that closes, we will start interviewing people.

**Alderman Ovian:** I have a recommendation, prior to doing that, why don't we basically look at the cost to bringing someone in like Compu-Type.

**Mayor Gregory:** We have already been in contact with the Compu-Type people.

**Alderman Ovian:** It would be a benefit to the City because we wouldn't have to pay benefits as opposed to hiring somebody at the present time. Until we can get this on board and get these people trained so they can use what we are paying for, but not utilizing. That is the key right there.

**Mayor Gregory:** Well, we have already been contacted by Comp-u-Type and that is one thing that we will be discussing. And we will be discussing it soon Mr. Ovian.

**Mayor Gregory:** I would like to invite all of you, we will be having the Veterans' ceremony, you are invited to come to City Hall before the ceremony to have some refreshments with fresh fruit and coffee and donuts and things like that and then afterwards, after the ceremony which will be in the quadrant where the Veterans Memorial is we will be having the wonderful ceremony. Colonel Glen Collins will be our guest speaker that day, the Commander of the 932<sup>nd</sup>. We will also be having some other special guests there and afterwards; I want to thank Cardinal Buick who is providing carry-out lunches for the Veterans. They are all boxed, and ready to go. I thought it was very wonderful that they donated those lunches for the Veterans that will be attending the ceremony.

## **EXECUTIVE SESSION**

Alderman Elmore made a motion second by Alderwoman Schaefer to go into executive session to discuss pending and/or probable/imminent litigation (including civil and workers' compensation) (5ILCS 120/2(c)(11)).

All members voted aye.

[Executive Session Began: 7:36 p.m.](#)

[Regular Session Resumed: 7:47 p.m.](#)

Aldерwoman Schaefer made a motion second by Alderman Weygandt to approve Compensation settlements with Nicholas Potts in the amount of \$8,467.75 and Claudia Gallegos in the amount of \$12,043.05.

Members voting aye on roll call: Schaefer, Stiehl, Elmore, Weygandt, Sullivan, Osthoff, Hazel, Whitaker, Duco, Randle, Ferguson, Anthony, Ovian, Dintelman. (14)

Motion carries.

Aldерwoman Schaefer made a motion second by Alderman Dintelman to ready Ordinance 9095 by Title Only.

All members voted aye. Motion carries

### **ORDINANCE 9095-2022**

An Ordinance Amending Title III (Administration), Chapter 33 (Public Safety; Law Enforcement), Section 33.103 (Application Procedure) of the Revised Code of Ordinances of the City of Belleville, Illinois

Aldерwoman Schaefer made a motion second by Alderman Dintelman to approve the Ordinance as read.

Members voting aye on roll call: Stiehl, Elmore, Weygandt, Sullivan, Osthoff, Hazel, Whitaker, Duco, Randle, Ferguson, Anthony, Ovian, Dintelman, Schaefer. (14)

Motion carries.

### **ADJOURNMENT**

Aldерwoman Stiehl made a motion second by Aldерwoman Schaefer to adjourn at 7:51 p.m.

All members voted aye.

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Jennifer Gain Meyer, City Clerk

**CITY OF BELLEVILLE PAYMENT SUMMARY  
COUNCIL MEETING - NOVEMBER 21, 2022**

**GENERAL FUND**

00 - Revenue	\$143,278.54
50 - Administration	\$106,647.69
51 - Police	\$205,111.58
52 - Fire	\$9,027.19
53 - Streets	\$8,264.24
54 - Parks	\$5,215.82
55 - Cemetery	\$228.07
56 - Hlth/Sanitation	\$55,810.93
62 - Economic Dev, Planning & Zoning	\$647.97
82 - Mayor	\$57.13
83 - Finance	\$88.58
84 - Human Resources	\$69.60
86 - Treasurer	\$55.18
87 - Maintenance	\$5,118.75
<b>GENERAL FUND TOTAL</b>	<b>\$539,621.27</b>

**SEWER OPERATIONS**

75 - Collections	\$24,891.78
77 - Lines	\$17,472.61
78 - Plant	\$66,870.39
<b>SEWER TOTAL</b>	<b>\$109,234.78</b>

04 - Library	\$1,596.71
07 - Park/Rec	\$59,170.50
12 - General & Community Assistance	\$4,050.58
13 - Motor Fuel Tax Fund	\$8,614.67
15 - Tort Liability Fund	\$6,190.40
19 - ARPA	\$1,747,938.00
20 - Campus Fund	\$27,397.75
24 - Sewer Const.	\$37,316.68
25 - Sewer Bond & Interest	\$1,021,184.61
30 - SSA	\$221.13
38 - TIF 3	\$590,792.22
50 - TIF 8 Downtown South	\$70,085.35
52 - Tif 10 Lower Richland Creek	\$518.87

<b>ALL FUNDS TOTAL</b>	<b><u><u>\$4,220,740.10</u></u></b>
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VENDOR #	NAME	DEPT.	AMOUNT
=====			
21	SEWER OPERATION & MAINTENANCE		
	SEWER COLLECTION		
223	BEYER, CHARLES	21-75	62.92
A2000	A2 INVESTMENT GROUP	21-75	147.88
EI010	EISELE, DOUG	21-75	61.01
HA204	HANCOCK, CHRIS	21-75	282.69
KE063	KELLY, BRIAN	21-75	48.48
SH056	SHORES JR, LEONARD	21-75	6.30
	**TOTAL SEWER COLLECTION		----- 609.28
21	SEWER OPERATION & MAINTENANCE	GRAND TOTAL	609.28
	GRAND TOTAL FOR ALL FUNDS:		609.28
	TOTAL FOR REGULAR CHECKS:		609.28

VENDOR #	NAME	DEPT.	AMOUNT
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12 GENERAL & COMMUNITY ASSISTANCE

AM061	AMEREN ILLINOIS	12-00	1,101.41
CA134	CAPITAL ONE AUTO FINANCE	12-00	312.00
IL088	ILLINOIS AMERICAN WATER	12-00	212.31
LI055	LIBERTY MUTUAL GROUP	12-00	118.36
PE068	PETTY CASH	12-00	300.00
SP054	SPECIALIZED LOAN SERVICING LLC	12-00	202.00
TM004	T-MOBILE	12-00	179.16

	**TOTAL		2,425.24
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12 GENERAL & COMMUNITY ASSISTANCE	GRAND TOTAL	2,425.24
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GRAND TOTAL FOR ALL FUNDS:	2,425.24
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TOTAL FOR REGULAR CHECKS:	2,425.24
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VENDOR #	NAME	DEPT.	AMOUNT
=====			
01	GENERAL FUND		
POLICE DEPARTMENT			
BU079	BUSEY BANK	01-51	4,036.12
CO051	CONTEMPORARY LIFE SAVING TRAINING	01-51	238.80
CO085	COLLINS, DANIEL	01-51	111.60
ED034	ED MORSE FORD	01-51	1,712.62
FA026	FACTORY MOTOR PARTS CO	01-51	217.05
JE025	JEWELL PSYCHOLOGICAL SERVICES, LL	01-51	450.00
MO106	MOTOROLA SOLUTIONS, INC	01-51	177,775.00
OD007	ODP BUSINESS SOLUTIONS, LLC	01-51	88.89
OR001	O'REILLY AUTO PARTS	01-51	104.28
ST109	ST LOUIS REGIONAL CRIME STOPPERS	01-51	500.00
UT001	UTILITRA	01-51	7,200.00
**TOTAL POLICE DEPARTMENT			205,111.58
FIRE DEPARTMENT			
1117	WEISSENBORN BOAT & LAWN EQUIPMENT	01-52	136.58
182	BANNER FIRE EQUIPMENT INC	01-52	1,455.00
393	DUTCH HOLLOW JANITORIAL SUPPLIES	01-52	2,057.63
4902	AT & T	01-52	109.16
515	HOME-BRITE ACE HARDWARE	01-52	171.30
726	CLEAN UNIFORM COMPANY	01-52	212.25
850	REJIS COMMISSION	01-52	180.00
AT028	AT&T	01-52	11.35
BU079	BUSEY BANK	01-52	2,098.48
EL002	ELLISON, JOSEPH	01-52	61.30
J1000	HEARTLAND AUTOMOTIVE SERVICES	01-52	91.77
SE034	SENTINEL EMERGENCY SOLUTIONS	01-52	742.37
UN038	UNIVERSITY OF ILLINOIS	01-52	1,700.00
**TOTAL FIRE DEPARTMENT			9,027.19
STREETS			
2384	HOMETOWN ACE HARDWARE	01-53	12.17
2435	GATEWAY TRUCK & REFRIGERATION	01-53	1,185.99
3445	DAVE SCHMIDT TRUCK SERVICE	01-53	1,144.01
413	ERB TURF EQUIPMENT, INC.	01-53	906.95
4902	AT & T	01-53	56.67
515	HOME-BRITE ACE HARDWARE	01-53	424.72
AR002	ARROW TERMINAL LLC	01-53	105.97
AT028	AT&T	01-53	11.35
CD003	SHRED-IT USA LLC	01-53	6.00
CJ001	C J GOODALL TIRE CO, INC	01-53	267.96
DI036	DISCOVERY	01-53	88.44
EJ000	E J EQUIPMENT	01-53	14.44
FI014	1ST AYD CORP	01-53	368.66
GL036	GLASS AND MORE, INC	01-53	288.00
HO034	HOME DEPOT CREDIT SERVICES	01-53	217.94
ME037	MEURER BROTHERS, INC	01-53	3,000.00
TR035	TRACTOR SUPPLY CREDIT PLAN	01-53	164.97
**TOTAL STREETS			8,264.24

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VENDOR #	NAME	DEPT.	AMOUNT
01 GENERAL FUND			
STREETS			
PARKS DEPARTMENT			
277	CAMPER EXCHANGE, INC.	01-54	282.39
385	DON'S HARDWARE, INC.	01-54	15.78
4902	AT & T	01-54	50.02
551	ILLINOIS AMERICAN WATER	01-54	2,031.90
834	QUALITY RENTAL CENTER	01-54	110.00
AT028	AT&T	01-54	11.35
BU079	BUSEY BANK	01-54	109.96
CO139	CONSTELLATION NEW ENERGY, INC	01-54	1,269.49
CU017	CULLIGAN/SCHAEFER WATER CENTERS	01-54	5.40
DI036	DISCOVERY	01-54	55.49
HO034	HOME DEPOT CREDIT SERVICES	01-54	425.42
TR035	TRACTOR SUPPLY CREDIT PLAN	01-54	669.84
UN027	UNIFIRST CORPORATION	01-54	178.78
**TOTAL PARKS DEPARTMENT			5,215.82
CEMETERY DEPARTMENT			
413	ERB TURF EQUIPMENT, INC.	01-55	160.00
BU079	BUSEY BANK	01-55	68.07
**TOTAL CEMETERY DEPARTMENT			228.07
HEALTH & SANITATION			
272	BUSTER'S TIRE MART	01-56	1,740.00
3445	DAVE SCHMIDT TRUCK SERVICE	01-56	380.23
486	HANK'S EXCAVATING & LANDSCAPING,	01-56	1,000.00
4902	AT & T	01-56	113.32
515	HOME-BRITE ACE HARDWARE	01-56	0.00
6311	MILAM RECYCLING & DISPOSAL FACILI	01-56	155.97
CO073	COTTONWOOD HILLS RDF	01-56	40,083.05
GO005	GOODALL TRUCK TESTING	01-56	82.00
ST043	ST LOUIS COMPOSTING INC	01-56	12,256.36
**TOTAL HEALTH & SANITATION			55,810.93
ECONOMIC DEV, PLANNING & ZONING			
7960	SCHAUSTER, ERIC	01-62	581.49
AM063	AMAZON BUSINESS	01-62	66.48
**TOTAL ECONOMIC DEV, PLANNING & ZONING			647.97
MAYOR			
402	EGYPTIAN WORKSPACE PARTNERS	01-82	57.13
**TOTAL MAYOR			57.13
FINANCE			
OD007	ODP BUSINESS SOLUTIONS, LLC	01-83	88.58
**TOTAL FINANCE			88.58

VENDOR #	NAME	DEPT.	AMOUNT
=====			
01	GENERAL FUND		
	FINANCE		
	HUMAN RESOURCES/COMMUNITY DEV		
CD003	SHRED-IT USA LLC	01-84	48.42
OD007	ODP BUSINESS SOLUTIONS, LLC	01-84	21.18
	**TOTAL HUMAN RESOURCES/COMMUNITY DEV		69.60
	TREASURER		
OD007	ODP BUSINESS SOLUTIONS, LLC	01-86	55.18
	**TOTAL TREASURER		55.18
	MAINTENANCE		
176	BARCOM SECURITY	01-87	186.25
214	BELLEVILLE SUPPLY COMPANY	01-87	968.16
515	HOME-BRITE ACE HARDWARE	01-87	71.81
726	CLEAN UNIFORM COMPANY	01-87	95.50
782	OVERHEAD DOOR COMPANY OF ST. LOUI	01-87	461.00
CL019	C & L BACKHOE	01-87	542.50
MI046	MIDWEST PLUMBING & BACKFLOW LLC	01-87	2,414.40
MI078	MIDWEST ELEVATOR CO., INC	01-87	379.13
	**TOTAL MAINTENANCE		5,118.75
01	GENERAL FUND	GRAND TOTAL	539,621.27

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VENDOR #	NAME	DEPT.	AMOUNT
=====			
04	LIBRARY		
2245	ILLINOIS DEPT OF EMPLOYMENT SECUR	04-00	2,646.00-
551	ILLINOIS AMERICAN WATER	04-00	68.08
CO139	CONSTELLATION NEW ENERGY, INC	04-00	960.46
SP053	SPECTRUM VOIP	04-00	20.75
	**TOTAL		----- 1,596.71-
04	LIBRARY	GRAND TOTAL	1,596.71-

VENDOR #	NAME	DEPT.	AMOUNT
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07 PLAYGROUND AND RECREATION

3119	COMPUTYPE IT SOLUTIONS	07-00	60.00
4782	SAM'S CLUB/SYNCHRONY BANK	07-00	332.96
4902	AT & T	07-00	102.41
AT028	AT&T	07-00	11.35
BT002	BTHS DISTRICT 201	07-00	787.95
BU079	BUSEY BANK	07-00	1,500.55
CA141	CONTEGRA POOLS, LLC	07-00	54,354.24
CD003	SHRED-IT USA LLC	07-00	47.70
CO139	CONSTELLATION NEW ENERGY, INC	07-00	513.31
DI036	DISCOVERY	07-00	135.04
ID006	IDWHOLESALE	07-00	524.99
LE079	LET'S CELEBRATE DJS + VIDEOGRAPHY	07-00	550.00
ME088	MERTZ, JASON	07-00	125.00
ST208	STEGMAN, ZACH	07-00	125.00
	**TOTAL		59,170.50

07 PLAYGROUND AND RECREATION	GRAND TOTAL	59,170.50
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VENDOR #	NAME	DEPT.	AMOUNT
12 GENERAL & COMMUNITY ASSISTANCE			
AT028	AT&T	12-00	11.35
BU079	BUSEY BANK	12-00	1,567.99
CD003	SHRED-IT USA LLC	12-00	6.00
CU017	CULLIGAN/SCHAEFER WATER CENTERS	12-00	40.00
	**TOTAL		1,625.34
12 GENERAL & COMMUNITY ASSISTANCE GRAND TOTAL			1,625.34

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VENDOR #	NAME	DEPT.	AMOUNT
=====			
13	MOTOR FUEL TAX FUND		
1547	THOUVENOT, WADE, & MOERCHEN INC	13-00	755.33
486	HANK'S EXCAVATING & LANDSCAPING,	13-00	5,725.58
CO075	CONCRETE SUPPLY OF ILLINOIS	13-00	718.75
EL001	ELECTRICO, INC.	13-00	690.01
LO029	LOCHMUELLER GROUP	13-00	725.00
	**TOTAL		8,614.67
	13 MOTOR FUEL TAX FUND	GRAND TOTAL	8,614.67

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VENDOR #	NAME	DEPT.	AMOUNT
=====			
15 TORT LIABILITY FUND			
515	HOME-BRITE ACE HARDWARE	15-00	30.98
5425	METRO LOCK & SECURITY INC	15-00	18.00
661	LIESE LUMBER CO., INC.	15-00	88.55
IL102	ILLINOIS BELL TELEPHONE COMPANY	15-00	629.26
IP002	IPMG	15-00	800.00
KE000	KELSO AUTO BODY, INC.	15-00	2,647.65
ST070	STRAUSBAUGH, SHARON S	15-00	1,975.96
	**TOTAL		----- 6,190.40
	15 TORT LIABILITY FUND	GRAND TOTAL	6,190.40

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VENDOR #	NAME	DEPT.	AMOUNT
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19 ARPA FUND

1547	THOUVENOT, WADE, & MOERCHEN INC	19-00	3,450.00
KO005	KORTE & LUITJOHAN CONTRACTORS INC	19-00	1,744,488.00

	**TOTAL		1,747,938.00
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19 ARPA FUND

GRAND TOTAL1,747,938.00

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VENDOR #	NAME	DEPT.	AMOUNT
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20 CAMPUS FUND

2102	AMEREN ILLINOIS	20-00	24,005.68
551	ILLINOIS AMERICAN WATER	20-00	3,072.09
IL075	ILLINOIS OFFICE OF STATE FIRE MAR	20-00	100.00
SP055	SPECTRUM ENTERPRISE	20-00	219.98

	**TOTAL		27,397.75
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20 CAMPUS FUND	GRAND TOTAL	27,397.75
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VENDOR #	NAME	DEPT.	AMOUNT
<b>21 SEWER OPERATION &amp; MAINTENANCE</b>			
SEWER COLLECTION			
2245	ILLINOIS DEPT OF EMPLOYMENT SECUR	21-75	5,778.00
AM007	AMERICAN WATER	21-75	4,148.90
IN021	INPUT TECHNOLOGY, INC	21-75	2,125.24
OD007	ODP BUSINESS SOLUTIONS, LLC	21-75	27.44
PA076	PAYMENT SERVICE NETWORK, INC	21-75	443.15
ST013	STOOKEY TOWNSHIP	21-75	11,759.77
**TOTAL SEWER COLLECTION			24,282.50
SEWER LINES			
1547	THOUVENOT, WADE, & MOERCHEN INC	21-77	497.00
314	COE EQUIPMENT CO	21-77	2,860.00
BU079	BUSEY BANK	21-77	360.93
CL019	C & L BACKHOE	21-77	4,081.50
DI036	DISCOVERY	21-77	84.49
GO005	GOODALL TRUCK TESTING	21-77	82.00
HO034	HOME DEPOT CREDIT SERVICES	21-77	145.93
MI072	MIDWEST VAC PRODUCTS, LLC	21-77	1,926.78
SI024	EVOQUA WATER TECHNOLOGIES LLC	21-77	600.00
UN027	UNIFIRST CORPORATION	21-77	139.70
VA001	VANDEVANTER ENGINEERING	21-77	6,500.00
VE023	VERIZON CONNECT NWF, INC.	21-77	194.28
**TOTAL SEWER LINES			17,472.61
SEWER PLANT			
1030	TEKLAB, INC.	21-78	529.85
1423	EHRET PLUMBING & HEATING, INC.	21-78	1,735.26
2384	HOMETOWN ACE HARDWARE	21-78	256.10
2435	GATEWAY TRUCK & REFRIGERATION	21-78	475.00
4902	AT & T	21-78	313.24
515	HOME-BRITE ACE HARDWARE	21-78	119.98
551	ILLINOIS AMERICAN WATER	21-78	454.73
661	LIESE LUMBER CO., INC.	21-78	483.00
7591	USA BLUEBOOK	21-78	3,644.56
CD003	SHRED-IT USA LLC	21-78	47.70
CO139	CONSTELLATION NEW ENERGY, INC	21-78	32,432.84
EC009	ECC SUPPLY	21-78	525.62
HA143	HAWKINS, INC	21-78	3,931.50
HO034	HOME DEPOT CREDIT SERVICES	21-78	403.03
HU069	HUELS OIL COMPANY	21-78	1,770.95
LO010	LOWE'S	21-78	969.24
MO109	MOTOR CONTROL SPECIALTIES, INC	21-78	345.00
NA047	NANCE, MATTHEW	21-78	175.00
OS000	OSBORN, MICHAEL	21-78	60.00
UN027	UNIFIRST CORPORATION	21-78	54.24
VA001	VANDEVANTER ENGINEERING	21-78	18,143.55
**TOTAL SEWER PLANT			66,870.39

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VENDOR #	NAME	DEPT.	AMOUNT
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21 SEWER OPERATION & MAINTENANCE

SEWER PLANT

21 SEWER OPERATION & MAINTENANCE      GRAND TOTAL    108,625.50

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VENDOR #	NAME	DEPT.	AMOUNT
=====			
24	SEWER CONSTRUCTION FUND		
CL019	C & L BACKHOE	24-00	8,625.00
G0028	GONZALEZ COMPANIES, LLC	24-00	18,636.68
	**TOTAL		----- 27,261.68
	24 SEWER CONSTRUCTION FUND	GRAND TOTAL	27,261.68

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VENDOR #	NAME	DEPT.	AMOUNT
=====			
25	SEWER BOND AND INTEREST FUND		
6086	ILLINOIS ENVIRONMENTAL PROTECTION	25-00CY	1,021,184.61
	**TOTAL		1,021,184.61
	25 SEWER BOND AND INTEREST FUND	GRAND TOTAL	1,021,184.61

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VENDOR #	NAME	DEPT.	AMOUNT
=====			
30	SPECIAL SERVICE AREA		
551	ILLINOIS AMERICAN WATER	30-00	27.40
CO139	CONSTELLATION NEW ENERGY, INC	30-00	193.73
	**TOTAL		----- 221.13
	30 SPECIAL SERVICE AREA	GRAND TOTAL	221.13

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VENDOR #	NAME	DEPT.	AMOUNT
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38 TIF 3 (CITY OF BELLEVILLE)

1547	THOUVENOT, WADE, & MOERCHEN INC	38-00	553.22
182	BANNER FIRE EQUIPMENT INC	38-00	557,354.00
3727	OATES ASSOCIATES, INC.	38-00	1,310.00
486	HANK'S EXCAVATING & LANDSCAPING,	38-00	19,775.00
LO029	LOCHMUELLER GROUP	38-00	11,800.00

**TOTAL			590,792.22
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38 TIF 3 (CITY OF BELLEVILLE)	GRAND TOTAL	590,792.22
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VENDOR #	NAME	DEPT.	AMOUNT
=====			
50	TIF 8 (DOWNTOWN SOUTH)		
1547	THOUVENOT, WADE, & MOERCHEN INC	50-00	34.33
BA040	BANK OF BELLEVILLE	50-00	29,551.02
WI163	WISE GUYS EATERY	50-00	40,500.00
	**TOTAL		70,085.35
	50 TIF 8 (DOWNTOWN SOUTH)	GRAND TOTAL	70,085.35

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VENDOR #	NAME	DEPT.	AMOUNT
=====			
52	TIF 10 (LOWER RICHLAND CREEK)		
1547	THOUVENOT, WADE, & MOERCHEN INC	52-00	518.87
	**TOTAL		518.87
	52 TIF 10 (LOWER RICHLAND CREEK)	GRAND TOTAL	518.87
	GRAND TOTAL FOR ALL FUNDS:		4,207,650.58
	TOTAL FOR REGULAR CHECKS:		4,151,793.23
	TOTAL FOR DIRECT PAY VENDORS:		55,857.35



**PAYROLL BREAKDOWN AS PER G/L DISTRIBUTION REPORT**

**PAYROLL DATE: 11/18/2022**

01 50	ADMINISTRATION	<u>\$15,624.33</u>
01 51	POLICE	<u>\$343,148.64</u>
01 52	FIRE	<u>\$221,417.35</u>
01 53	STREET	<u>\$43,858.61</u>
01 54	PARKS	<u>\$18,488.02</u>
01 55	CEMETERY	<u>\$7,693.29</u>
01 56	SANITATION	<u>\$37,779.49</u>
01 60	LEGAL	<u>\$7,502.10</u>
01 61	HOUSING DEPARTMENT	<u>\$21,931.77</u>
01 62	ECONOMIC DEVELOPMENT & PLANNING	<u>\$8,462.51</u>
01 82	MAYOR	<u>\$6,603.77</u>
01 83	FINANCE	<u>\$7,330.96</u>
01 84	HUMAN RESOURCE	<u>\$4,750.31</u>
01 85	CLERK	<u>\$8,030.87</u>
01 86	TREASURER	<u>\$3,813.49</u>
01 87	MAINTENANCE	<u>\$15,667.54</u>
01 88	ENGINEER	<u>\$5,937.76</u>
	<b>TOTAL GENERAL FUND</b>	<b><u>\$778,040.81</u></b>
4	LIBRARY	<u>\$33,998.79</u>
7	RECREATION	<u>\$13,163.93</u>
12	G & C ASSISTANCE	<u>\$4,089.20</u>
21 75	SEWER COLLECTIONS	<u>\$6,447.00</u>
21 77	SEWER LINES	<u>\$12,523.31</u>
21 78	SEWER PLANT	<u>\$52,746.16</u>
	<b>TOTAL SEWER DEPARTMENT</b>	<b><u>\$71,716.47</u></b>
	<b>Employers' Portion of FICA (06-00-21500) CR</b>	<b><u>\$35,490.39</u></b>
	<b>*****TOTAL PAYROLL</b>	<b><u><u>\$936,499.59</u></u></b>



# MEMO

**TO:** Jenny Meyer – City Clerk  
**FROM:** Randy E. Smith Sr. – Director *RES*  
**DATE:** November 8, 2022  
**SUBJECT:** Motions for City Council November 21, 2022

On behalf of the Master Sewer Committee, Alderman Dintelman will make the following motion:

- 1) Motion to enter into a contract with Crawford, Murphy & Tilly of St. Louis to upgrade our Alum Chemical Feed systems at both Treatment Plants. The proposal is not to exceed \$69,910.00.

Thank you.

**2022 STANDARD AGREEMENT FOR PROFESSIONAL SERVICES**

**THIS AGREEMENT** made between City of Belleville, whose address is 450 Environmental Drive, Belleville, IL 62220, hereinafter called the **CLIENT** and Crawford, Murphy & Tilly, Inc., Consulting Engineers, One Memorial Drive, Suite 500, St. Louis, Missouri 63102, hereinafter called the **ENGINEER**.

**WITNESSETH**, that whereas the **CLIENT** desires the following described professional engineering, land surveying or architectural services:

**Professional Engineering Services for the WWTP Chemical Feed System Upgrades projects including design report services and design phase services.**

**NOW THEREFORE**, the **ENGINEER** agrees to provide the above described services and the **CLIENT** agrees to compensate the **ENGINEER** for these services in the manner checked below:

On a time and expense basis in accordance with the attached Schedule of Hourly Charges which is subject to change at the beginning of each calendar year. Reimbursable direct expenses will be invoiced at cost. Professional or Subconsultant services performed by another firm will be invoiced at cost plus ten percent.

At the lump sum amount of \$ \_\_\_\_\_.

**IT IS MUTUALLY AGREED THAT**, payment for services rendered shall be made monthly in accordance with invoices rendered by the **ENGINEER**.

**IT IS FURTHER MUTUALLY AGREED:**

- **ENGINEER** shall provide engineering services as outlined in the Scope of Services (**Exhibit B**) attached to this agreement.
- Compensation for Professional Engineering Services shall not exceed \$69,910 without prior written authorization from the **CLIENT**.
- Engineering fees shall be in accordance with the Professional Service Cost Estimate (**Exhibit A**) and the Schedule of Hourly Charges included in this Agreement.

The **CLIENT** and the **ENGINEER** each binds himself, his partners, successors, executors, administrators and assignees to each other party hereto in respect to all the covenants and agreements herein and, except as above, neither the **CLIENT** nor the **ENGINEER** shall assign, sublet or transfer any part of his interest in this **AGREEMENT** without the written consent of the other party hereto. This **AGREEMENT**, and its construction, validity and performance, shall be governed and construed in accordance with the laws of the State of Illinois. This **AGREEMENT** is subject to the General Conditions attached hereto.

**IN WITNESS WHEREOF**, the parties hereto have affixed their hands and seals this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

**CLIENT:**

\_\_\_\_\_  
(Client Name)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Name and Title)

\_\_\_\_\_  
Date

**ENGINEER:**

\_\_\_\_\_  
**CRAWFORD, MURPHY & TILLY, INC.**

*Scott Knight*  
\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
**Scott Knight, St. Louis Water Resources Group Manager**  
(Name and Title)

\_\_\_\_\_  
**11/1/2022**  
Date

**CMT Job No.** \_\_\_\_\_

**STANDARD GENERAL CONDITIONS**  
**Crawford, Murphy & Tilly, Inc.**

1. Standard of Care

In performing its professional services hereunder, the **ENGINEER** will use that degree of care and skill ordinarily exercised, under similar circumstances, by members of its profession practicing in the same or similar locality. No other warranty, express or implied, is made or intended by the **ENGINEER'S** undertaking herein or its performance of services hereunder.

2. Reuse of Document

All documents including Drawings and Specifications prepared by **ENGINEER** pursuant to this Agreement are instruments of service. They are not intended or represented to be suitable for reuse by **CLIENT** or others on extensions of the Project or on any other project. Any reuse without written verification or adaptation by **ENGINEER** for the specific purpose intended will be at **CLIENT'S** sole risk and without liability or legal exposure to **ENGINEER**; and **CLIENT** shall indemnify and hold harmless **ENGINEER** from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom.

3. Termination

This Agreement may be terminated by either party upon seven days prior written notice. In the event of termination, the **ENGINEER** shall be compensated by the client for all services performed up to and including the termination date, including reimbursable expenses, and for the completion of such services and records as are necessary to place the **ENGINEER'S** files in order and/or to protect its professional reputation.

4. Parties to the Agreement

The services to be performed by the **ENGINEER** under this Agreement are intended solely for the benefit of the **CLIENT**. Nothing contained herein shall confer any rights upon or create any duties on the part of the **ENGINEER** toward any person or persons not a party to this Agreement including, but not limited to any contractor, subcontractor, supplier, or the agents, officers, employees, insurers, or sureties of any of them.

5. Construction and Safety

The **ENGINEER** shall not be responsible for the means, methods, procedures, techniques, or sequences of construction, nor for safety on the job site, nor shall the **ENGINEER** be responsible for the contractor's failure to carry out the work in accordance with the contract documents.

6. Payment

Payment for services rendered shall be made monthly in accordance with invoices rendered by the **ENGINEER**. If payment is to be on a lump sum basis, monthly payments will be based on the portion of total services completed during the month. Invoices, or any part thereof, which are not paid within 30 days after the date of issue shall bear interest at the rate of 1-1/2% for each month or fraction thereof from the date 30 days after issue to time of payment. **CLIENT** will pay on demand all collection costs, legal expenses and attorneys' fees incurred or paid by **ENGINEER** in collecting payment, including interest, for services rendered.

7. Indemnification for Release of Pollutants

If this project does not involve pollutants, this provision will not apply. This provision may not be deleted if the project involves pollutants.

If, due to the nature of the service covered under this Agreement including the potential for damages arising out of the release of pollutants, **CLIENT** agrees that in the event of one or more suits or judgments against **ENGINEER** in favor of any person or persons, or any entity, for death or bodily injury or loss of or damage to property or for any other claimed injury or damages arising from services performed by **ENGINEER**, **CLIENT** will indemnify and hold harmless **ENGINEER** from and against liability to **CLIENT** or to any other persons or entities irrespective of Engineer's compensation and without limitation. It is understood that the total aggregate liability of **ENGINEER** arising from services performed by **ENGINEER** shall in no event exceed \$50,000 or the total compensation received under this agreement whichever is greater, irrespective of the number of or amount of such claims, suits, or judgments.

8. Risk Allocation  Check box if this does not apply

The total liability, in the aggregate, of the **ENGINEER** and **ENGINEER'S** officers, directors, employees, agents and consultants, and any of them, to **CLIENT** and anyone claiming by, through or under **CLIENT**, for any and all injuries, claims, losses, expenses or damages arising out of the **ENGINEER'S** services, the project or this agreement, including but not limited to the negligence, errors, omissions, strict liability or breach of contract of **ENGINEER** or **ENGINEER'S** officers, directors, employees, agents or consultants, or any of them, shall not exceed the total compensation received by **ENGINEER** under this agreement, or the total amount of \$50,000, whichever is greater.

9. Project Schedule and Scope

Based on the schedule objectives provided by **CLIENT**, **ENGINEER** will develop a schedule of important milestones as necessary for the project for **CLIENT'S** review and approval. **ENGINEER** will monitor performance of services for conformance with the schedule and will notify **CLIENT** of any necessary changes to or deviations from the schedule. Where required by approved project schedule, **ENGINEER** will present the required deliverables and complete the required tasks at the appropriate intervals for **CLIENT'S** review and approval prior to payment.

**CRAWFORD, MURPHY & TILLY, INC.**  
**STANDARD SCHEDULE OF HOURLY CHARGES**  
**JANUARY 1, 2022**

Classification	Regular Rate
Principal	\$ 245
Project Engineer II Project Architect II Project Manager II Project Environmental Scientist II	\$ 235
Project Engineer I Project Architect I Project Manager I Project Environmental Scientist I Project Structural Engineer I	\$ 205
Sr. Structural Engineer II Sr. Architect II	\$ 190
Sr. Technician II	\$ 170
Aerial Mapping Specialist	\$ 165
Sr. Engineer I Sr. Architect I Sr. Structural Engineer I Land Surveyor	\$ 165
Technical Manager II Environmental Scientist III	\$ 150
Sr. Technician I	\$ 145
Sr. Planner I GIS Specialist Engineer I Architect I Structural Engineer I	\$ 145
Environmental Scientist II Technician II	\$ 125
Planner I Technical Manager I Environmental Scientist I Technician I Project Administrative Assistant	\$ 105
Administrative/Accounting Assistant	\$ 70

If the completion of services on the project assignment requires work to be performed on an overtime basis, labor charges above are subject to a 15% premium. These rates are subject to change upon reasonable and proper notice. In any event this schedule will be superseded by a new schedule effective January 1, 2023.

Out of pocket direct costs will be added at actual cost for blueprints, supplies, transportation and subsistence and other miscellaneous job-related expenses directly attributable to the performance of services. A usage charge may be made when specialized equipment is used directly on the project.

Subconsultant services furnished to CMT by another company will be invoiced at actual cost, plus ten percent.

**CRAWFORD, MURPHY & TILLY, INC.**  
**CONTRACT ATTACHMENT - EXHIBIT A - 2022 PROFESSIONAL SERVICES COST ESTIMATE**  
**BELLEVEILLE, ILLINOIS**  
**CLIENT**  
**CHEMICAL FEED SYSTEM UPGRADES**  
**PROJECT NAME**  
**CMT JOB NO. TBD**

Prep By: APE  
 DATE: 10/31/22

Approved by: KSK  
 DATE: 10/31/22

TASK NO.	TASKS   CLASSIFICATIONS	CURRENT YEAR 2022 HOURLY RATES															TOTAL	
		\$245	\$235	\$205	\$190	\$170	\$165	\$150	\$145	\$145	\$145	\$125	\$105	TOTAL				
1	Data Collection and Review of Existing Information			2														18
2	Determination of Chemical Usage and Storage Requirements		2	8														10
3	Evaluation of Chemical Use		4	8														12
4	Evaluation of Modification Recommendations		4	28	4													40
5	Preliminary Construction Cost Estimate		4	4														4
6	Preparation and Submittal of Engineering Report		4	8	4													16
7	Design of West WWTP Chemical Feed System Modifications			8														8
8	Design of East WWTP Chemical Feed System Modifications		4	48	8													64
9	Pre-Final Bidding and Construction Documents		1	8	2													100
10	Pre-Final Construction Cost Estimate		1	14	2													23
11	Final Bidding and Construction Documents		1	4	1													7
12	Final Construction Cost Estimate		10	10														8
13	IEPA Construction Permit			8														8
14	Progress Meetings (assume 5 at 2 hour each)																	8
15	Project Management		31	230	25	24												351
	TOTAL MAN HOURS		\$7,285	\$47,150	\$4,750	\$4,080												\$69,710
	SUBTOTAL - BASE LABOR EFFORT																	

TASKS (CONTINUED)	DIRECT EXPENSE & REIMBURSABLES										TOTAL EXPENSE	TOTAL FEE	
	TOTAL LABOR EFFORT	TRAVEL MILEAGE	MEALS & LODGING	PRINTING	EQUIP. MENT	MISC	SURVEY MTL	SUBS ADMIN	OTHER EXP	OTHER EXP			
1   Data Collection and Review of Existing Information	\$2,730											\$2,730	
2   Determination of Chemical Usage and Storage Requirements	\$2,110											\$2,110	
3   Evaluation of Chemical Use	\$2,580											\$2,580	
4   Evaluation of Modification Recommendations	\$8,100											\$8,100	
5   Preliminary Construction Cost Estimate	\$820											\$820	
6   Preparation and Submittal of Engineering Report	\$3,260											\$3,260	
7   Design of West WWTP Chemical Feed System Modifications	\$1,640											\$1,640	
8   Design of East WWTP Chemical Feed System Modifications	\$12,680											\$12,680	
9   Pre-Final Bidding and Construction Documents	\$19,620											\$19,620	
10   Pre-Final Construction Cost Estimate	\$2,585											\$2,585	
11   Final Bidding and Construction Documents	\$4,495											\$4,495	
12   Final Construction Cost Estimate	\$1,410											\$1,410	
13   IEPA Construction Permit	\$1,640											\$1,640	
14   Progress Meetings (assume 5 at 2 hour each)	\$4,400	\$200										\$4,600	
15   Project Management	\$1,640											\$1,640	
TOTALS	\$69,710	\$200										\$70,910	
PERCENTAGE OF WORK TO BE PERFORMED BY YEAR	2022	2023	2024	2025	TOTAL	EST % OF OT HRS INCLUDED ABOVE							MULTI-YEAR + OT
WEIGHTING FACTOR FOR 5% ANNUAL ADJUSTMENT	25%	75%			100%	AVERAGE OVERTIME RATE PREMIUM							
ESTIMATED CONTINGENCY	0.2500	0.7875			1.0375	OT ADJUSTMENT FACTOR							1.0375
ROUNDING													
TOTAL FEE													\$69,910

**MATH CROSS CHECK IS OK**

**EXHIBIT B**  
City of Belleville, IL  
WWTP Chemical Feed System Upgrades  
**SCOPE OF SERVICES**

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In 2016 an Engineering Report was completed recommending improvements to the City of Belleville's WWTPs chemical phosphorus feed systems at the West WWTP and East WWTP. The City has requested an update to the 2016 Engineering Report and design of new chemical feed systems. The Scope of Services associated with the upgrade shall include the following:

**DESIGN REPORT SERVICES**

The Design Report Services include items as shown in the anticipated scope of work presented below.

1. Data collection and review of existing information.
2. Determination of chemical usage required at each plant.
3. Determination of chemical storage volume required at each plant.
4. Evaluation of alternate chemical use.
5. Recommendation of modifications to the chemical feed system at each plant.
6. Preliminary construction cost estimate.
7. Preparation and submittal of engineering report.

**DESIGN PHASE SERVICES**

The Design Phase Services include items as shown in the anticipated scope of work presented below. The Design Phase Services scope of work is based on the recommendations of the 2016 Engineering Report and site visit conduct in October 2022. The assumed scope of work presented below is preliminary and may change based on the final Design Report recommendations.

1. Chemical Feed System Upgrade Design
  - a. Design West WWTP chemical feed system
    - i. Three new chemical storage tanks installed inside the existing Chemical Storage Room.
    - ii. New piping from chemical storage tanks to existing chemical pump skid.
  - b. Design East WWTP chemical feed system
    - i. New chemical storage tanks installed south of aeration basins.
    - ii. Relocation of existing chemical feed pump system to south of aeration basins.
    - iii. New pre-engineered building to house chemical storage tanks and relocated chemical feed pump system.
    - iv. New piping from relocated chemical feed pump system to existing chemical pipe feed system, including insulation and heat trace.
2. Bidding and Contracting Documents
  - a. Drawings including necessary plans, schematics, etc.
  - b. Front-end documents such as bidding and contract forms, general conditions, and general requirements associated with the project; technical specifications defining materials and installation methods.

**EXHIBIT B**  
City of Belleville, IL  
WWTP Chemical Feed System Upgrades  
SCOPE OF SERVICES

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3. Engineer's Estimate of Probable Construction Cost.
4. IEPA Construction Permit Submittal.

The above scope of services does not include the following:

1. City or County building permit, site plan review, special use permits, etc.

END OF DOCUMENT



# City of Belleville Insurance Proposal

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Presented by:

Patrick Sheahan  
Executive Vice President - Public Sector

Thomas Collins  
Account Executive- Public Sector

November 2022

CA License No. 0803093  
Insurance Services offered through Mesirow Insurance Services, Inc.  
© 2019 Mesirow Insurance Services, Inc., an Alliant-owned company.  
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# City of Belleville Executive Summary

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- **Pre–Renewal Meeting** – *This was held with City staff in August 2022. A timeline was developed for the key dates and activities for the process*
- **Marketplace** - *At this meeting, a discussion was held regarding the state of the marketplace. A market survey was shared with some average pricing in various lines of coverage. Challenges in the excess liability and cyber liability market specifically were addressed.*
- **Risk Control and Training** – *At this meeting, we also discussed the planning for various risk control and training initiatives that would be undertaken and coordinated with new City staff, with the assistance of Alliant and IPMG resources.*
- **Claim Review** – *In September, a review of open claims was coordinated by Alliant and held with City staff, carrier representatives, and counsel.*
- **Property Appraisal** – *A property appraisal was conducted by Kroll Associates at the request of the property carrier. This was performed for at no cost to the City. This appraisal included the buildings at the former Lindenwood campus.*

# Market Conditions

## Impactful issues for insureds:



- **Liability capacity pull back** and withdrawals have been significant over the past two years
- **Property capacity reductions:**
  - 15% to 30% reduction in capacity from incumbents
  - Coastal and wildfire capacity continues to be especially difficult
- **Cyber capacity is shrinking** and particularly acute for certain industries (Public Entity)
- Insurers produced **negligible profit in 2021** – \$112b in Global Insured CAT losses in 2021 – **4th Worst Loss Year on Record.**
- Workers Compensation **remains stable.**
- Historically **low interest rates** have hampered carrier investment returns.
- An **increased pattern of major property catastrophes** such as hurricanes, typhoons, wildfires, etc. over the past 5 years. Is this the new normal?
- Consistent **increases in attritional property losses** (fires, water damage, tornados, hail, wildfires).
- **Increased inflation** has added to the issue of **valuation across all property classes.**
- **Social inflation & Litigation Financing** driving up liability verdicts and settlements.
- **Ransomware cyber losses** are systemic - \$6 Trillion Impact in 2021 – **Expecting \$10 Trillion by 2025** – 2019 was \$2 Trillion



# State of the Market – 2022 Q2

## Premium Rate Changes By Line of Business

	Down > 30%	Down 20– 30%	Down 10– 19%	Down 1–9%	No Change	Up 1–9%	Up 10– 19%	Up 20– 29%	Up 30– 50%	Up 50– 100%
Business Interr.	0%	0%	0%	1.75%	26.32%	56.14%	12.28%	1.75%	0%	0%
Comm. Auto	0%	0%	0%	0%	10.53%	66.67%	17.54%	3.51%	1.75%	0%
Comm. Property	0%	0%	0%	3.57%	10.71%	50.00%	26.79%	7.14%	1.79%	0%
Cyber	0%	0%	1.69%	0%	6.78%	11.86%	18.64%	25.42%	25.42%	10.17%
D&O	0%	0%	1.69%	0%	20.34%	40.68%	28.81%	5.08%	1.69%	0%
EPL	0%	0%	0%	0%	24.56%	63.16%	8.77%	1.75%	1.75%	0%
General Liability	0%	0%	0%	3.57%	28.57%	51.79%	14.29%	1.79%	0%	0%
Surety Bonds	0%	0%	0%	3.64%	63.64%	18.18%	0%	0%	0%	0%
Terrorism	0%	0%	0%	1.92%	78.85%	7.69%	0%	0%	0%	0%
Umbrella	0%	0%	0%	3.45%	10.34%	27.59%	46.55%	8.62%	3.45%	0%
Workers' Comp	0%	0%	0%	45.61%	40.35%	10.53%	3.51%	0%	0%	0%

0% experiencing change = white

1-9% experiencing change = light lime (good) light teal (bad)

10-19% experiencing change = medium lime, medium teal

20-49% experiencing change = dark lime, dark teal

50% or more experiencing change = very dark lime, very dark teal

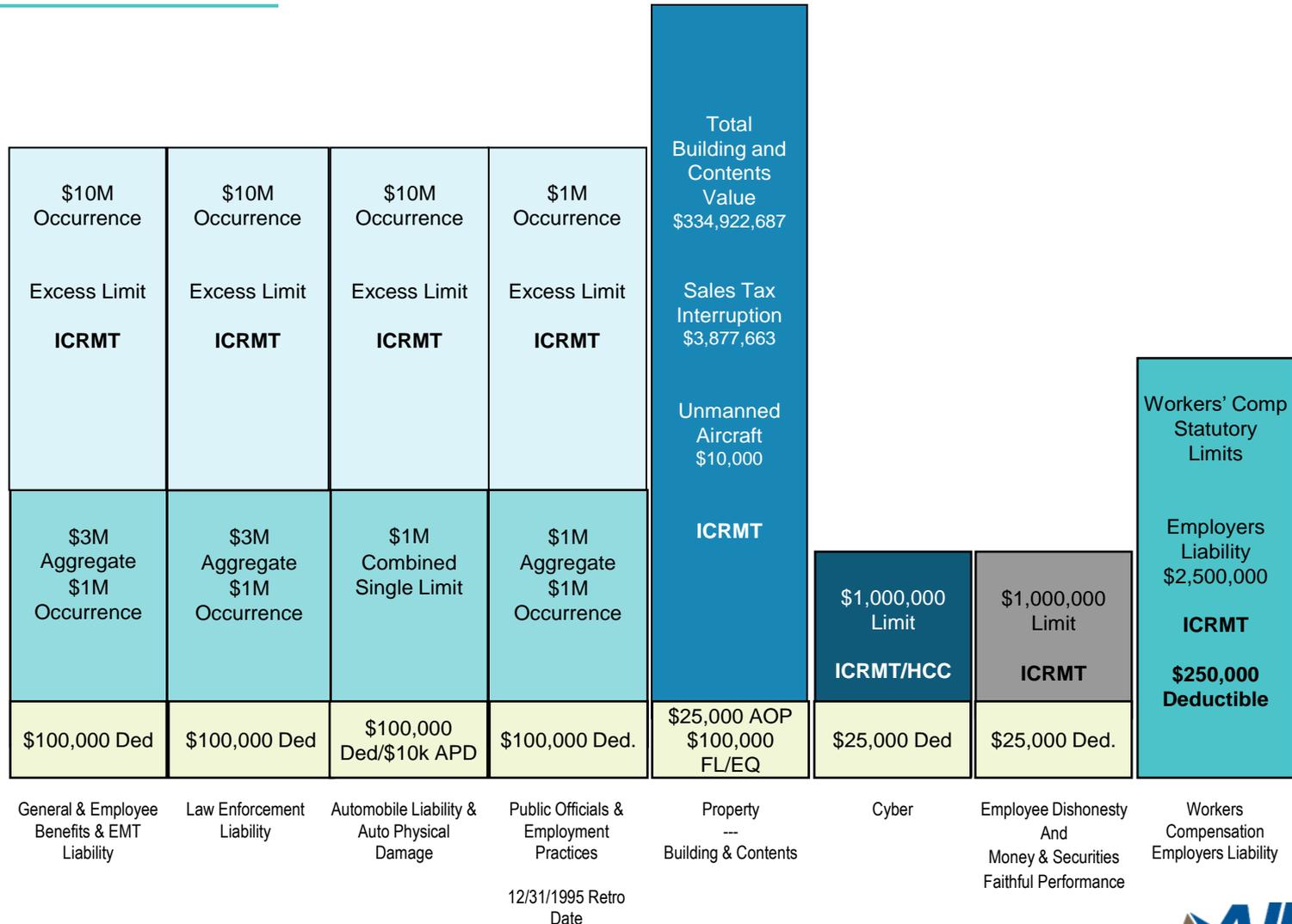
**City of Belleville - Premium and Expense Summary - 2022 - 23**

	Expiring Annual Premium - ICRMT	Renewal Premium - ICRMT	%Incr/Dec at Expiring Structure
<b>Premium and Expenses</b>			
<b>Liability Premium</b>	\$ 511,487	\$ 576,614	12.7%
<b>City Property Premium</b>	\$ 226,707	\$ 270,002	
<b>Lindenwood Property Premium*</b>	\$ 257,101	\$ 157,539	
<b>Total Property Premium</b>	\$ 483,808	\$ 427,541	-11.6%
<b>Workers Comp. Premium</b>	\$ 254,537	\$ 252,831	-0.7%
<b>Cyber Liability</b>	\$ 9,149	\$ 27,136	196.6%
<b>Claims Handling Expense Est.</b>	Included	Included	0.0%
<b>Premium and Expense Estimate</b>	\$ 1,258,981	\$ 1,284,122	2.0%
<i>* Expiring Lindenwood property premium included coverage from 10/15/21-4/15/22 for \$192,564 and 4/15/22-12/1/22 for \$64,537</i>			
<b>Exposures Changes</b>			
<b>Building Values</b>	\$ 163,069,943	\$ 198,351,440	
<b>Contents</b>	\$ 13,009,300	\$ 19,798,550	
<b>Lindenwood Values</b>	\$ 84,595,633	\$ 116,772,697	
<b>Total Values</b>	\$ 260,674,876	\$ 334,922,687	28.5%
<b>Expenditures</b>	\$ 108,531,967	\$ 135,564,775	24.9%
<b>Vehicles</b>	264	257	-2.7%
<b>Payroll</b>	\$ 23,229,046	\$ 24,085,449	3.7%

# City of Belleville

## 12/1/2022 – 12/1/2023

- All coverages and exclusions are not included on this page. Please refer to policy for all applicable terms and conditions. Additional limits and/or changes may be available after review and acceptance by insurer. ICRMT has added a communicable disease exclusion on the excess liability this renewal.
- Chart is not to scale.



## City of Belleville

### Risk Management Summary- 2022

In the last 12 months, Alliant has engaged as an active participant and loss control resource provider working closely with City staff and its insurance carrier partner, ICRMT. Working together, City has leveraged its available loss control resources to help address the City's risk management needs and loss cost drivers. Of note, Alliant continues to advise the City towards its efforts on the following initiatives:

- Risk management planning meeting with Alliant and City staff to discuss future training and safety initiatives
- Safety Source: Registration of City personnel for on-line access
- City employees attended ICRMT seminar in Springfield, IL that discussed numerous topics
- Property safety inspections were performed at numerous facilities during the 2022 year
- New HR manager was provided information on the Select4Hire employment integrity testing platform. This is funded by ICRMT as part of the benefits of the insurance coverage.
- Claims Review: Coordinated and completed in August
- Future assistance could be provided with Employee Handbook review
- Future Work Comp 101 Training for Department supervisors could be coordinated

# CITY OF BELLEVILLE, ILLINOIS

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**DEPARTMENT OF PUBLIC WORKS**  
**STREETS, SANITATION, CEMETERY OPERATIONS, AND PARKS MAINTENANCE**  
512 WEST MAIN STREET  
BELLEVILLE, ILLINOIS 62220-1509  
Phone: (618) 233-6810  
www.belleville.net

11/10/2022

Finance Committee and City Council:

The Public Works Dept is requesting permission from the Finance Committee and the City Council to waive the formal bidding procedure, utilize the Sourcewell contract #091219-NW, and purchase a new 2023 Freightliner M2 with a New Way Sidewinder 31 cu yd automated side loader body in the amount of \$290,200. Delivery expected to be summer of '23.

Respectfully submitted,

Jason R. Poole

Director of Public Works



3100 West 76th Street  
 Davenport, IA 52806  
 Ph: 563-391-4840

Elliott Sanitation Equip. Co.  
 1245 Dawes Avenue  
 Lincoln, NE 68521  
 Ph: 402-474-4840

4000 SE Beisser Drive  
 Grimes, IA 50111  
 Ph: 515-986-4840  
 Fx: 515-986-9530

14001 Botts Rd.  
 Grandview, MO 64030  
 Ph: 816-761-4840

4400 E 60th Ave  
 Commerce City, CO 80022  
 Ph: 303-853-4840

# Quote

Date	Quote #
11/3/2022	17962
Proposed Shipping Date	
4/22/23	
Terms	
Due on receipt	
Rep	
JRN	

City of Belleville Sanitation Department  
 512 W. Main Street  
 Belleville, Il 62220

**Here is our quotation on the goods named, subject to the conditions noted:**

*CONDITIONS: The prices and terms on this quotation are not subject to verbal changes or other agreements unless approved in writing by the Home Office of the Seller. Prices are based on costs and conditions existing on date of quotation and are subject to change by the Seller before final acceptance. All quotations and agreements are contingent upon strikes, accidents, fires, availability of materials and all other causes beyond our control.*

*Typographical and stenographic errors subject to correction. Purchaser agrees to accept either overage or shortage not in excess of ten percent to be charged for pro-rata. Purchaser assumes liability for patent and copyright infringement when goods are made to Purchaser's specifications. When quotation specifies material to be furnished by the purchaser, ample allowance must be made for reasonable spoilage and material must be of suitable quality to facilitate efficient production. Quoted Prices are good for 60 days.*

*Conditions not specifically stated herein shall be governed by established trade customs. Terms inconsistent with those stated herein which may appear on Purchaser's formal order will not be binding on the Seller.*

*TERMS: Equipment is due on receipt. Carts, Containers, Parts & service are Net 30 unless otherwise noted on your account. Balances over 30 days from the date of invoice are subject to finance charges up to 1.5% per month.*

Qty	Item	Description	Price	Total
1	11491E	2022 Ready Built New Freightliner M2, Cummins L9 350 HP diesel, Allison 3000RDS automatic, tandem axle chassis with dual drive Sport Chassis cab conversion, New Way Sidewinder 31 cu yd automated side loader, frame mounted arm with 1,000lb capacity and 12' reach, dual joysticks, pre crusher panel, triple camera system with 7" color monitor, work lights. VIN:3ALHCYFE5NDNK2282 Body WO:123300 Price Includes all Surcharges, Dealer add-on's and training.	289,000.00	289,000.00
	Freight	Sourcewell Contract # 091219-NW Deliver to customer location Customers Exempt From Sales Tax	1,200.00 0.00%	1,200.00 0.00

**Total** \$290,200.00

TO CONFIRM ORDER, SIGN AND RETURN

X \_\_\_\_\_

# CITY OF BELLEVILLE, ILLINOIS

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**DEPARTMENT OF PUBLIC WORKS**  
**STREETS, SANITATION, CEMETERY OPERATIONS, AND PARKS MAINTENANCE**  
512 WEST MAIN STREET  
BELLEVILLE, ILLINOIS 62220-1509  
Phone: (618) 233-6810  
www.belleville.net

11/10/2022

Finance Committee and City Council:

The Public Works Dept is requesting permission from the Finance Committee and the City Council to waive the formal bidding procedure, utilize the Sourcewell contract #080818-VCM, and purchase a new 2023 Ford F550 with a Viking Cives Midwest dump body, salt spreader, and snowplow in the amount of \$118,717. Delivery expected to be late calendar year '23.

Respectfully submitted,

Jason R. Poole

Director of Public Works



22956 Hwy 61  
 PO Box 295  
 Morley, MO 63767  
 Phone: 573-262-3545  
 Fax: 573-262-3369

# Quote

Quote #	Date
169318	11/09/22

Customer		
CITY OF BELLEVILLE STREET DEPARTMENT ***email invoices*** 512 WEST MAIN ST		
BELLEVILLE	IL	62220

Ship To		
CITY OF BELLEVILLE, IL 801 ROYAL HEIGHTS RD		
BELLEVILLE	IL	62226

Customer PO	Terms	Sales Rep	Lead Time	Ship Via	FOB	VIN
	NET 30	SCOTT	11/09/22			

Item	Description	Ordered	UOM	Price Per	Total Price
SOURCEWELL	Sourcewell Contract # 080818-VCM Customer member # (71924) Item sold (SW-TK0100, SW-TK0554, SW-TK0556, NJ2500)	1.00	EA	52,592.00	52,592.00
SALES	10' medium duty dump body that includes doghouse and cab shield corners - less hoist, load cover, LED warning lights, tension hoop, auxiliary hydraulic connections and installation  - Western Style crossmemberless design - Corten material - 16" side height - 24" tailgate height - 1/4" AR450 floor - Pullout ladder with grab handle - Fully welded and dirt-shedding - 1/4" Corten trapezoid style, fully enclosed long sills (no splices) - Horizontal bracing sloped and fully welded - Flush-mount tailgate	1.00	EA	0.00	0.00
SALES	Rugby SR4016 electric hoist package with subframe	1.00	EA	0.00	0.00
MSRP5135	Whelen VCSYS1 municipal lighting package	1.00	EA	0.00	0.00
MSRP5410	Additional rear-facing warning lights mounted in cab shield	1.00	EA	0.00	0.00
MSRP6175	Class V trailer package which includes 6-wire pigtail, electronic brake controller, 2" receiver and 1/2" pintle plate	1.00	EA	0.00	0.00
SALES	Western 8 1/2' plow assembly	1.00	EA	0.00	0.00
SALES	SaltDogg 10'x46" elctric chain 304 stainless steel spreader	1.00	EA	0.00	0.00
SALES	Ford F550 chassis (see attached chassis specs)	1.00	EA	66,125.00	66,125.00

Prepared By: Chris  
Memo: SOURCEWELL

Sub-Total	118,717.00
Shipping	0.000
Discount	0.00
Taxes	0.00
Total	118,717.00

Customer must fill out the information below before the order can be processed.

**Accepted by:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **P.O.#:** \_\_\_\_\_

*\*Quoted price does not include any applicable taxes.*

*\*Terms are Due Upon Receipt unless prior credit*

*\*Terms for established accounts, NET 30 days*

*\*Please note if chassis is furnished, it is as a convenience and terms are Net Due on Receipt of Chassis*



Preview Order B550 - F5H 4x4 Reg Chas Cab DRW: Order Summary Time of Preview: 11/07/2022 07:53:21

Dealership Name: Weber Granite City Ford

Sales Code : F53398

Dealer Rep.	Russell Sebastian	Type	Retail	Vehicle Line	Superduty	Order Code	B550
Customer Name	X XXXXX	Priority Code	19	Model Year	2023	Price Level	315

DESCRIPTION	MSRP	DESCRIPTION	MSRP
F550 4X4 CHASSIS CAB DRW/169	\$52920	CV LOT MANAGEMENT	\$0
169 INCH WHEELBASE	\$0	FRONT LICENSE PLATE BRACKET	\$0
OXFORD WHITE	\$0	19500# GVWR PACKAGE	\$0
VINYL 40/20/40 SEATS	\$0	ENGINE BLOCK HEATER	\$100
MEDIUM DARK SLATE	\$0	50 STATE EMISSIONS	\$0
PREFERRED EQUIPMENT PKG.660A	\$0	SNOW PLOW PREP PACKAGE	\$250
.XL TRIM	\$0	HIGH CAPACITY TRAILER TOW PKG	\$580
.AIR CONDITIONING -- CFC FREE	\$0	40 GAL AFT OF AXLE FUEL TNK	\$0
.AM/FM STEREO MP3/CLK	\$0	410 AMP ALTERNATOR	\$115
6.7L POWER STROKE V8 DIESEL	\$9995	DUAL BATTERY	\$210
10-SPEED AUTO TORQSHIFT	\$0	REAR VIEW CAMERA & PREP KIT	\$415
225/70R19.5G BSW ALL POSITION	\$0	FUEL CHARGE	\$0
4.30 RATIO LIMITED SLIP AXLE	\$395	PRICED DORA	\$0
PAYLOAD PLUS PACKAGE UPGRADE	\$1155	DESTINATION & DELIVERY	\$1795
TOTAL BASE AND OPTIONS			MSRP \$67930
DISCOUNTS			NA
TOTAL			\$67930

*\$ 66,425 - 300 = \$ 66,125*

Customer Name:  
Customer Address:

Customer Email:  
Customer Phone:

*City of Belleville  
QK 755*

Customer Signature Date

*Russ Sebastian*

*This order has not been submitted to the order bank.*

*This is not an invoice.*

*Weber Ford*

about:blank *Cell 618-581-4970*



# Government Bid Management System (GBMS)

RUSSELL SEBASTIAN (R-SEBA11)

Purpose:New Bid; State:IL-Illinois; FIN:QK555-CITY OF BELLEVILLE; Bid Open Date :11/07/2022; Vehicle Line:22 - F-SERIES SD ; Model Year:2023; Body Code & Name:F5H-F550 4X4 CHAS/C; GPC Type:All

State	Model Year	Vehicle Line	Body Code & Name	Option Discounts	GPC Req #	GPC (\$)	Price Level	Bid Open / Reference # Start Date	Reference # Issue Date	FIN	GPC Type	Reference #	Expiration Date
IL	2023	22 - F-SERIES SD	F5H - F550 4X4 CHAS/C			300 000		11/07/2022	10/05/2022		LOCAL	26804P	



**FIRE APPARATUS PROPOSAL**

=====

DATE: 2022

This proposal has been prepared for:

**BELLEVILLE FIRE DEPARTMENT**

We hereby propose to furnish to you, subject to proper execution of this agreement by you and by an officer of this Company, the following apparatus:

UNIT QUANTITY	MODEL	PRICE
1	Used 2000 E-One Custom Pumper s/o 121044, 1500gpm Aluminum Body 750 gal poly tank, VIN 4ENFAAA84X1001044	\$30,000.00

This apparatus is currently in the possession of the Belleville Fire Department under a lease agreement dated October 4<sup>th</sup>, 2022. The buyer will receive a credit off the purchase price for any lease payments made under said lease agreement. A purchase invoice will be generated after receipt of this signed proposal, subject to proper execution of this agreement by both parties. Terms of Payment are 100% of the purchase price within net 30 days.

Price listed above is firm for 30 days. Price is subject to increase after that time.

Company: BANNER FIRE EQUIPMENT, INC.

By: Mike Benker Jr

Title: President

Buyer: CITY OF BELLEVILLE FIRE DEPARTMENT

By: \_\_\_\_\_

Title: \_\_\_\_\_



# Illinois Department of Transportation

1100 Eastport Plaza Drive / Collinsville, Illinois / 62234

October 12, 2022

Belleville Public Library  
121 E. Washington  
Belleville, IL 62220

Attn: Mr. Leander Spearman, Director

RE: Introduction and Offer Package Letter  
121 E. Washington, Belleville, Illinois  
FAP Route 600 (IL 159)  
Section 26, 45RS-3  
St. Clair County  
Job No. R-98-026-21  
Parcel 8126002

Dear Mr. Spearman:

The Illinois Department of Transportation, Office of Program Development (IDOT) proposes to improve FAP Route 600 (IL 159) from Washington Street to 0.2 mile south of IL 13/158 in Belleville, Illinois. This improvement requires the acquisition of the above referenced parcel consisting of:

- 81 sq. ft of land as fee simple
- 84 sq. ft of land as a temporary construction easement for four (4) years

Public records indicate the subject property is owned by Board of Directors of Belleville Public Library.

This letter introduces Ms. Angel R. Lewis of Executive Real Estate Consulting Services, Inc. Ms. Lewis represents IDOT in the acquisition of the parcel with you.

If you have any questions regarding the authority and procedures of IDOT in acquiring property under eminent domain and the property owner's rights under those procedures, please feel free to contact Ms. Vanessa Badgett of the Department of Transportation at (618) 346-3128, via email at [Vanessa.Badgett@illinois.gov](mailto:Vanessa.Badgett@illinois.gov), or at the address above.

Belleville Public Library  
Page 2  
October 12, 2022

The following documents are included for your consideration:

- Waiver Valuation
- Legal descriptions of the premises to be acquired
- Title Commitment
- Affidavit of Title
- Basis for Computing Total Approved Compensation and Offer to Purchase
- Warranty Deed
- Temporary Construction Easement
- Certified Resolution
- Receipt of Conveyance Documents and Disbursement Statement
- PTAX
- W9
- Right of Way Plat

In addition, you are being provided with the following pamphlets:

- "A Landowner's Guide to Land Acquisition by the Illinois Department of Transportation and Eminent Domain,"
- "Highway Improvements and Property Rights."

Ms. Lewis is available to discuss the proposed highway improvement and any questions you may have about the acquisition. Please note, Ms. Lewis cannot provide specific legal advice or specific legal referrals. You may reach Ms. Lewis at (618) 604-1896, or via email at [angel.lewis1@ercs.com](mailto:angel.lewis1@ercs.com).

If the amount is satisfactory, please sign the documents where indicated, and have the documents notarized where required. You may return them to Ms. Lewis or contact Ms. Lewis for the documents to be picked-up at your convenience.

Sincerely,

*Kirk H. Brown*

Kirk H. Brown, P.E.  
Regional Engineer

Enclosures



Basis for Computing Total Approved Compensation and Offer to Purchase

Route: FAP 600 (IL 159) Project:
Section 26, 45RS-3 Job No. R-98-026-21
County: St. Clair Parcel 8126002

Owner(s) of Real Property: Board of Directors of Belleville Public Library
121 E. Washington, Belleville, IL 62220

Location of Property: Part of Lot 3 of "Original Town of Belleville"
121 E. Washington, Belleville, IL 62220
PIN: 08-21.0-449-015

Pursuant to 735 ILCS 30/10-5-15, the following has been prepared in order to fully inform you of the details of the acquisition of your property as right of way for the proposed improvement of Route FAP 600 (IL 159). The legal descriptions of the parcels to be acquired are found on the attached 0 of conveyance.

The amounts shown below are the full amounts of the approved values and are based on fair market value of the property. The fair market value of the part to be acquired is estimated without regard for any decrease or increase in the fair market value caused by the project for which the property is being acquired; however, the damage to the remaining property, if any, is estimated with full consideration of the effect of the proposed improvement.

1. Existing Property:

Total area 0.2507 acres, more or less

Highest and best use: Commercial

2. Land to be Acquired in Fee Simple:

New right of way 81 sq. ft.

Existing right of way (when applicable) 0 sq. ft.

Total right of way 81 sq. ft.

3. Improvements and/or Fixtures to be Acquired:

None

4. Compensation for Land Acquired in Fee Simple:

Fair market value of the <u>81</u> sq. ft. to be acquired including all improvements as part of the whole property, based on an analysis of market data in the vicinity of the acquisition.	<u>\$300.00</u>
Damage to the remaining property as a result of the acquisition (if any). None	<u>\$0.00</u>
Total compensation for permanent right of way acquired in fee simple.	<u>\$300.00</u>
Less cost of construction to be offset against total compensation.	<u>\$0.00</u>
Net compensation	<u>\$300.00</u>

Benefits in the amount of \$0.00 have been estimated to the remaining property. These benefits have been offset against any possible damages but have not been offset against any part of the compensation of the part acquired.

5. Compensation for Easements Including Any Damages or Benefits:

Permanent Easements- <u>N/A</u> sq. ft. for <u>N/A</u> (state purpose)	<u>\$0.00</u>
Temporary Easements- <u>84</u> sq. ft. for <u>Sidewalk Construction</u> (state purpose)	<u>\$300.00</u>
Total compensation for easements (when applicable)	<u>\$300.00</u>

6. Total Compensation for Entire Acquisition, which includes all interests in the land required for the highway improvement and damages to the remainder property, if any. (sum of 4+5)

\$600.00

7. Personal Property (Not Being Acquired) located on the Proposed Right of Way:

N/A

You may want to retain and remove from the right of way some, or all, of the improvements included in the acquisition. If so, the following owner-retention values have been established for the improvements listed above in Item 3, and the total of the owner-retention values for the improvements retained will be deducted from the total compensation.

Improvement	Owner-Retention Value
<u>N/A</u>	<u>\$0.00</u>

Any agreement to retain such improvements does not convey with it a permit to move the improvements on, or over, any state highway. Ms. Lewis will be happy to furnish information for your use in applying for a permit if one is needed.

Kirk H. Brown/jg  
Regional Engineer

On behalf of the Illinois Department of Transportation, Division of Highways, and as outlined in the above summary, I hereby offer you the sum of \$600.00 for the property described on the attached instruments free and clear of all claims of other parties, liens, taxes and encumbrances.

If the above offer is over \$250,000.00, it is contingent on the Illinois Department of Transportation adhering to 30 ILCS 105/9.02 which requires specific contracting authority for all procurement contracts in the amount of \$250,000.00 or more.

Angel R. Lewis/jg  
\_\_\_\_\_  
Realty Specialist

10/12/22  
\_\_\_\_\_  
Date



Illinois Department of Transportation

Waiver Valuation

Route FAP 600 IL 159
Section 26, 45RS-3
County St. Clair

Project Sidewalk Construction
Job No. R-98-026-21
Parcel 8126002 Unit

[X] Original [ ] Supplemental No.

Based on the review of available data, an appraisal is unnecessary because the valuation is not complex and the anticipated value of the proposed acquisition is not expected to exceed \$10,000.00, and as directed under 49 CFR Part 24.2(a)(33) and 24.102(c)(2).

1. Owner's Name, Address and Telephone: Paul Carr (Chairman) Board of Director of Belleville Public Library
121 East Washington, Belleville, 62220 Phone No: (618) 234-0441

2. Tenant's Name, Address and Telephone:

3. Identification of Property: Public Library 121 East Washington, Belleville, 62220. Pin: 08-21.0-449-015

4. Inspection Date: 08/08/2022 4a. By: Chuck Keeney

5. Present Use: Commercial 5a. Highest and Best Use: Commercial

6. Zoning: Commercial 6a. Farmland Preservation Act:

7. Area of Whole: 0.2507 AC (ac./s.f.) Permanent Easement: (ac./s.f.)
Total ROW: (ac./s.f.) Temporary Easement: 84 S.F. (ac./s.f.)
Net New ROW: 81 S.F. (ac./s.f.) Area of Remainder: 0.2488 AC (ac./s.f.)
Existing ROW: (ac./s.f.)

8. Sales Considered: Pin: No:08-21.0-449-015 St. Clair County (FMV \$.70 S.F.)

9. Fair Market Value of Property Taken (including improvements) as Part of the Whole \$300

10. List Improvements and Type of Land

11. Damage to the Remainder: \$

12. Description of Damages Considered or Non-Complex Cost to Cure:

13. Compensation for P.E.: \$

Remarks:

14. Compensation for T.E.: \$300

Remarks: T.E. to be utilized for four years for Sidewalk Construction

15. Total Compensation \$600

Handwritten signature of Chuck Keeney

Preparer's Signature

08/09/2022

Date

Handwritten signature of Regional Engineer

Regional Engineer's Signature

Handwritten date 8/9/22

Date

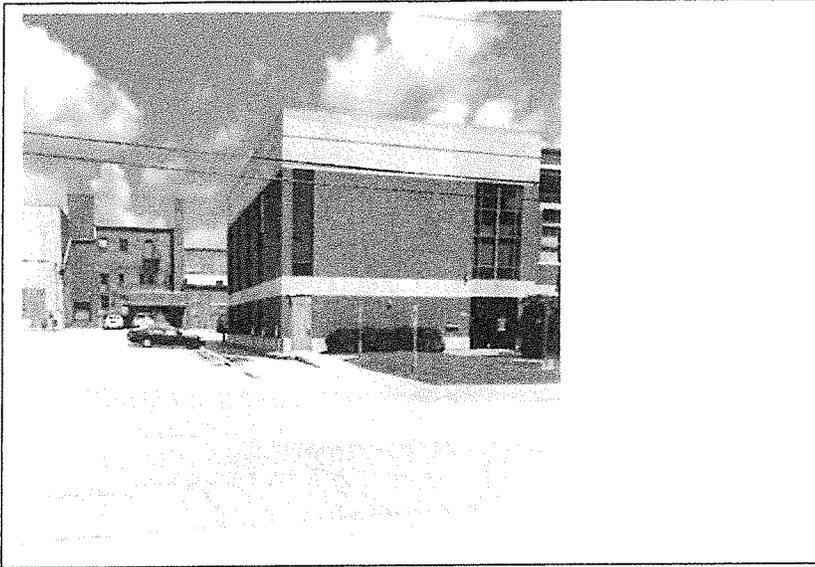
062.057776

Engineer's License #

Photographs

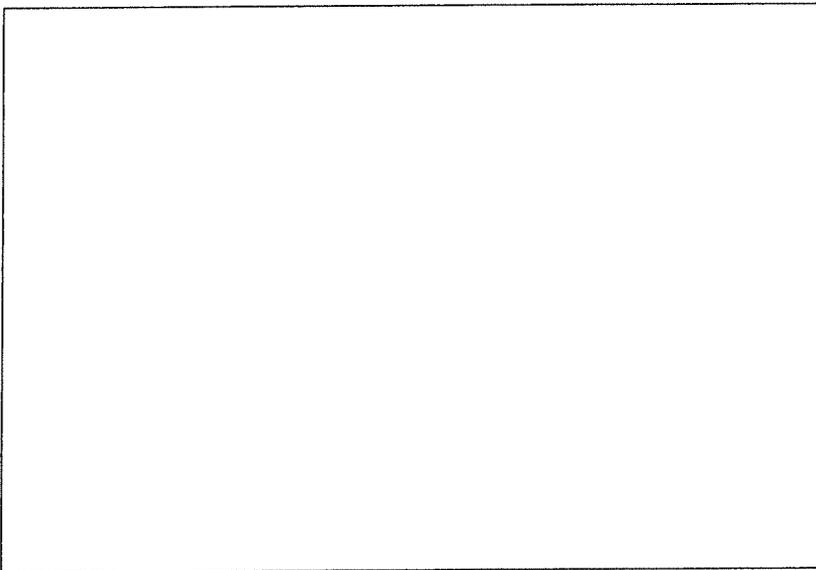
Subject Property

Photographs are required on all properties. Photographs of all principal above ground improvements or unusual features affecting the value of the property to be taken or damaged must also be included. Please use the format below for identifying the photographs.



Date of Photograph:	8/8/2022
Photograph By:	Chuck Keeney
Camera Facing:	N/E

Description:



Date of Photograph:	
Photograph By:	
Camera Facing:	

Description:

Parcel 8126002  
 FAP Route 600 (Illinois Route 159)  
 Section 26, 45RS-3  
 St. Clair County  
 Job No. R-98-026-21  
 Owner: Board of Directors of Belleville Public Library  
 Station 135+47.00 Lt. to Station 135+72.00 Lt.  
 PIN: 08-21.0-449-015  
 Non-Freeway

Part of Lot 3 of "Original Town of Belleville"; reference being had to the plat thereof recorded in Recorder's Office of St. Clair County, Illinois, in Book of Plats "E" on Page 9; described as follows:

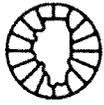
Beginning at the northeast corner of said Lot 3; thence on an assumed bearing of South 00 degrees 21 minutes 52 seconds West on the east line of said Lot 3, a distance of 25.00 feet; thence North 89 degrees 38 minutes 08 seconds West, 2.00 feet to a line that is 2.00 feet west of and parallel to the east line of said Lot 3; thence North 00 degrees 21 minutes 52 seconds East on said parallel line, 23.02 feet to a line that is 2.00 feet south of and parallel to the north line of said Lot 3; thence North 89 degrees 07 minutes 06 seconds West on said parallel line, 15.52 feet; thence North 00 degrees 52 minutes 54 seconds East, 2.00 feet to the north line of said Lot 3; thence South 89 degrees 07 minutes 06 seconds East on said north line, 17.50 feet to the Point of Beginning.

Said Parcel 8126002 contains 81 square feet, or 0.0019 acres, more or less.

	IDOT (initials)
Parcel closes	daf
Area correct	daf
All Record lines & corners called out	daf
Reviewed for coal and mineral rights	daf
Approved by	daf
Date	07-19-22







## **Non-Profit and Public Facilities Certification and Consent (“Certification and Consent”)**

**PURPOSE :** In signing this Certification and Consent, you are authorizing Elevate Energy and/or any of its respective affiliates or affiliated agencies, directors, officers, employees, agents, contractors, or other representatives (collectively, the “Program Administrator”) to request information from the sources listed on this Certification and Consent to verify your organization’s tax status to ensure that the organization named herein is eligible for the Illinois Solar for All Program (the “Program”).

**USES OF INFORMATION TO BE OBTAINED :** Subject to applicable law, the information provided in this Certification and Consent will be used for the permissible purpose set forth above including, but not limited to, determining Program eligibility, monitoring compliance with the Program, assessing the Program and modifying and/or improving the Program.

**WHO MUST SIGN THE CONSENT FORM :** An officer or other representative of the Non-Profit or Public Facility named in this Certification and Consent who is duly authorized to sign and bind the organization or agency named in this Certification and Consent.

**CONSENT :** I consent to allow the Program Administrator to request and obtain information from the sources listed in this document for the purpose of verifying the organization/agency’s eligibility for the Program including, but not limited to the following information:

- ▶ Documentation of tax status

**SOURCES OF INFORMATION :** U.S. Social Security Administration and the U.S. Internal Revenue Service.



**VERIFICATION DOCUMENTATION:** In order for the Program Administrator to verify the eligibility of my building, I understand that I must provide the following documentation:

Documentation of tax status

I CERTIFY that this project is for a:

Non-Profit

Public Facility

I CERTIFY that my organization:

Owns the property where the project will be built

Leases the property where the project will be built

I CERTIFY that my organization resides in a(n):

Environmental Justice Community

Low-Income Community

I CERTIFY that the building subject to this Certification and Consent meets the eligibility requirements for the Program.



I CERTIFY that all statements and information furnished in this Certification and Consent are true, complete and correct to the best of my knowledge and belief, and are made in good faith. I understand that: (1) statements or information furnished on, or in connection with, this Certification and Consent are subject to verification and I agree to furnish supporting documents or information when so requested; and (2) I am obligated to promptly update and correct any information furnished on, or in connection with, this Certification and Consent if I become aware of any change to such statements and/or information during my participation in the Program. I also understand that intentional misstatements, falsification or failure to update or correct this Certification and Consent may result in ineligibility for, or termination from, the Program. The Program Administrator’s determination of ineligibility or decision to terminate your participation in the Program may be appealed per instructions in the Program Vendor Manual.

ORGANIZATION NAME: Belleville Public Library

APPLICANT BUILDING STREET ADDRESS: 121 E Washington St

UNIT NUMBER (IF APPLICABLE): \_\_\_\_\_

ZIP CODE: 62220 COUNTY: St Clair STATE: Illinois

ENTITY STAFFING/MANAGEMENT:

PERCENTAGE OF BOARD COMPRISED OF MINORITIES: \_\_\_\_\_

PERCENTAGE OF STAFF COMPRISED OF MINORITIES: \_\_\_\_\_

CLIENT COMPOSITION:

PERCENTAGE OF CLIENTS WHO ARE MINORITIES: \_\_\_\_\_

*This information is not scored but is tracked for program reporting purposes only. Disclosing this information is optional.*



HEAD OF ORGANIZATION NAME: Lee Spearman

HEAD OF ORGANIZATION SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

PROPERTY OWNER NAME (IF DIFFERENT THAN ABOVE):

Patty Gregory

PROPERTY OWNER SIGNATURE: \_\_\_\_\_

APPROVED VENDOR: Central Road Energy, LLC

APPROVED VENDOR STAFF NAME: Ky Ajayi

APPROVED VENDOR STAFF SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

# Illinois Solar for All Program Qualified Tenant Agreement

This Illinois Solar for All Program Qualified Tenant Agreement (this “Agreement”) is made by and between the Owner, as that term is defined below, and the Approved Vendor named in this Agreement, and is effective as of the date of the last signature below (the “Effective Date”).

In consideration for Owner’s participation in the Illinois Solar for All Program (“ILSFA” or the “Program”) and the Approved Vendor’s facilitation of Owner’s participation, Owner and Approved Vendor hereby agree that as of the Effective Date:

**1. Authorization.** Owner has authorized Approved Vendor, including Approved Vendor’s agents, to build a solar photovoltaic generating system (the “Project”) at the site of the “Property” specified below, and to submit the Project for application into the Non-Profit/Public Facilities sub-program of ILSFA seeking a Renewable Energy Credit (“REC”) Agreement by and between Approved Vendor (as seller) and the applicable utility company or the state of Illinois as buyer (the “REC Agreement”), and corresponding incentive payments for the delivery of RECs.

**2. Term.** The “Term” of this Agreement shall commence on the Effective Date and continue through the date that is the fifth (5th) anniversary of the date on which the Project is both electrically complete and has received permission to operate from the local interconnecting utility, except if terminated earlier pursuant to Section 4 or Section 8 below.

**3. Ownership.** The “Owner” named below represents and warrants that it is the legal owner of record of the Property.

**4. Covenant to Maintain Lease with Not-for-Profit or Public Sector Tenant.** Owner represents and commits that: (a) the Property, or a portion thereof (hereinafter, the “Leased Premises”), is leased to a not-for-profit organization (such tenant, including any

subsequent qualifying not-for-profit organization under ILSFA that leases the Leased Premises, is hereinafter referred to as the “Qualified Tenant”) as specified in Section 8.6.3 of the Long-Term Renewable Resources Procurement Plan (the “Plan”) and Section 4.2 of the ILSFA Vendor Manual; (b) that such lease (the “Lease”) is in full force and effect and that neither Owner, nor the Qualified Tenant is in default of any of its obligations under the Lease as of the Effective Date; (c) that Owner will use best efforts to keep the Lease in full force and effect through the entire Qualified Tenant Lease Term set forth below (unless the Qualified Tenant is in material default under the Lease beyond any applicable cure period, which must be at least 30 days); (d) that Owner will grant to the Qualified Tenant the right of quiet enjoyment and use of the Leased Premises without hindrance or interruption by Owner or any other person claiming by or through Owner; and (e) Owner will use best efforts to renew the Lease, or otherwise to rent the Leased Premises to another qualifying not-for-profit organization under ILSFA, at all times during the Term. Owner agrees that this commitment is a covenant that runs with the Property (the “Covenant”) and that Approved Vendor will have the right to terminate this Agreement upon Owner’s breach of the Covenant. Notwithstanding anything to the contrary in this Agreement, the parties acknowledge and agree that if this Agreement is terminated due to Owner’s breach of the Covenant, that the damages the Approved Vendor and the Program would sustain as a result would be difficult, if not impossible to ascertain. Accordingly, Owner agrees that in the event of any actual or threatened default in, or breach of, any of the terms, conditions and provisions of this Agreement, the Approved Vendor, or any Third-Party Beneficiary (as defined in Section 9 below) shall have the right to specific performance and injunctive or other equitable relief of its rights under this Agreement, in addition to any and all other rights and remedies at law or in equity, and that all such rights and remedies shall be cumulative. Owner agrees that the remedies at law for any breach or threatened breach, including monetary damages, may be inadequate compensation for any loss and that any defense in any action for specific performance that a remedy at law would be adequate is waived. Any requirements for the securing or posting of any bond with such remedy are waived by the Owner. Owner and Approved Vendor each agree to immediately notify the ILSFA Program Administrator and the Illinois Power Agency in writing if either becomes aware that the Property is not in compliance with this or any other Program requirement. With the exception of any mortgagee of the Property existing as of the Effective Date, this Agreement shall be binding on Owner, its heirs, successors, executors, and assigns. Owner is responsible for ensuring this Agreement is assumed by any subsequent owner of the Property for the full Term. Owner will provide written notice to the ILSFA Program Administrator of any change in ownership of the Property

within fourteen (14) days of such change. Owner agrees to promptly provide all information and records requested by the ILSFA Program Administrator or the Illinois Power Agency necessary to evidence compliance with Program requirements.

**5. Program Obligations.** Owner and Approved Vendor each acknowledge that, should the Project be approved by the ILSFA Program Administrator, Illinois Power Agency, and Illinois Commerce Commission for REC incentives under the Program, any violation of the obligations in Section 4 of this Agreement could constitute a violation under the REC Agreement and place Approved Vendor's status under the Program at risk.

**6. Representations.** Owner and Approved Vendor each: (A) represent that to the best of its knowledge and belief after due inquiry, investigation and confirmation, the information set forth in this Agreement is true and correct; and (B) agree that, except as otherwise explicitly provided in Section 4 regarding Owner's breach of the Covenant during the Term, any other failure to comply with its obligations under this Agreement may result in termination from the Program and/or other legal action as determined by the ILSFA Program Administrator and/or the Illinois Power Agency in their sole discretion.

**7. Authority.** Each person signing this Agreement represents that he or she: (A) is duly authorized and has legal capacity to execute and deliver this Agreement; and (B) this Agreement is a valid and legal agreement binding on such party and enforceable in accordance with its terms by the Illinois Power Agency or the Program Administrator on behalf of the Illinois Power Agency.

**8. Early Termination.** This Agreement shall automatically terminate prior to the end of the Term if:

(a) The Project's application for REC incentive monies from the Program is declined by either the Illinois Power Agency or Illinois Commerce Commission;

(b) Energization (as defined in the REC Agreement) of the Project is not completed in accordance with the Plan and the REC Agreement, including any extensions to that deadline granted thereto;

(c) The Approved Vendor elects not to sign a REC Agreement related to the Project within the signing period specified in that REC Agreement; or

(d) The Project is removed from a REC Agreement.



**9. Third-Party Beneficiary.** The Illinois Power Agency and the ILSFA Program Administrator (each a “Third-Party Beneficiary”) on behalf of the Illinois Power Agency are third-party beneficiaries to this Agreement and are entitled to the rights and benefits hereunder and may enforce the provisions hereof as if they were a party hereto.

**10. Recording of Agreement.** Owner hereby consents to recording of this Agreement by Approved Vendor or any Third-Party Beneficiary with the recorder of deeds of the county in which the Property is located. Failure to record this Agreement shall not affect the validity or enforceability of any provision in this Agreement including, but not limited to, the Covenant herein.

**11. Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Illinois without regard to conflict of laws provisions.

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner Name (Printed): Patty Gregory (Mayor)

Owner Corporate Name (if applicable): City of Belleville, Illinois

Property Address: 121 E Washington Street

City: Belleville State: Illinois Zip Code: 62220

Phone Number: 618-233-6518 x1207

Not-for-Profit/Public Sector Entity Legal Name: City of Belleville, Illinois

Qualified Tenant Lease Term: *This is something that we need to know*

Approved Vendor Name: Central Roads Energy LLC

Approved Vendor Representative’s Name (printed): Ky Ajayi

Representative’s Signature: \_\_\_\_\_ Date: \_\_\_\_\_



**ECONOMIC DEVELOPMENT, PLANNING & ZONING DEPARTMENT  
MEMORANDUM**

**Meeting Date:** November 2, 2022

**To:** Planning Commission

**From:** Clifford Cross, AICP  
Director

**Subject:** **Club Car Wash Development:** Site Plan approval for the construction of an approximate 5,394 square foot Club Car Wash, with 20 associated vacuum stalls on an approximate 60,775 square foot lot within a C-4 (Commercial) district. (Parcel – 09-19.0-102-001) Ward 7.

**Actions Requested:** The applicant Club Carwash Operating, LLC is requesting a recommendation by the Planning Commission to the City Council for the above-referenced submittal.

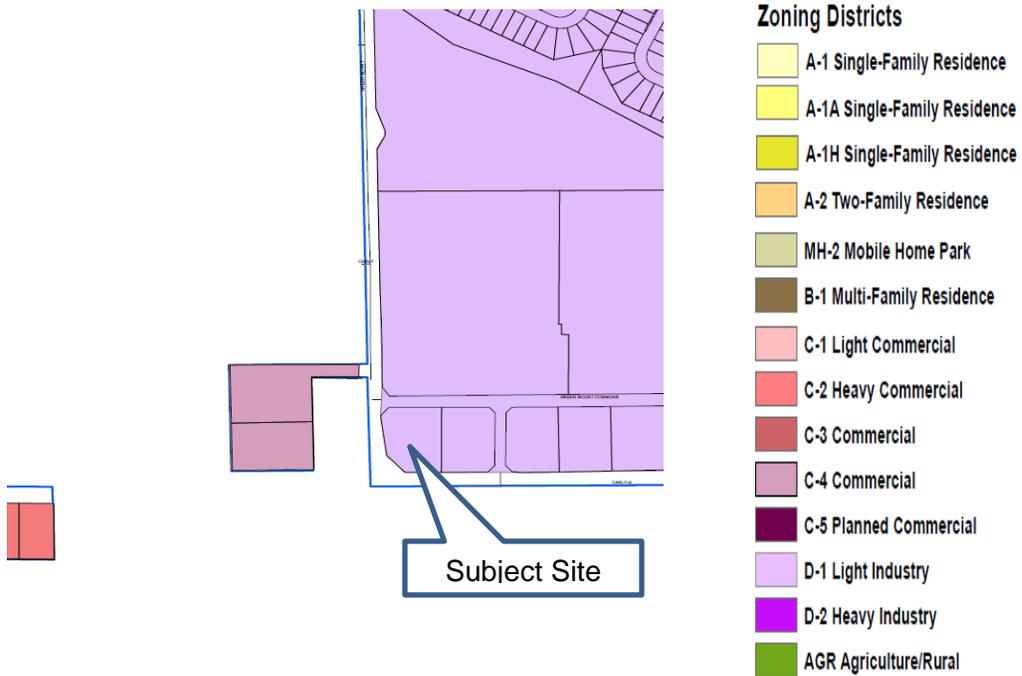
**Property Description:** The subject site, is approximately 1.51 acres and is located at the property legally defined as “Green Mount Commons Resub, Lot 4 in A01961779” and commonly addressed 2500 Green Mount Commons Drive. The proposed subject site is located within the Green Mount Commons subdivision.

**Surrounding Zoning & Land Uses:** Properties surrounding the subject property are zoned “C-4” (Commercial) and unincorporated A (Agricultural Industry District), B1 (Retail and Service Business District) and SR3 (Single Family). There is existing commercial development throughout the subdivision and on the site. The Green Mount Crossing development is located at the intersection of Green Mount Road and Carlyle Avenue.

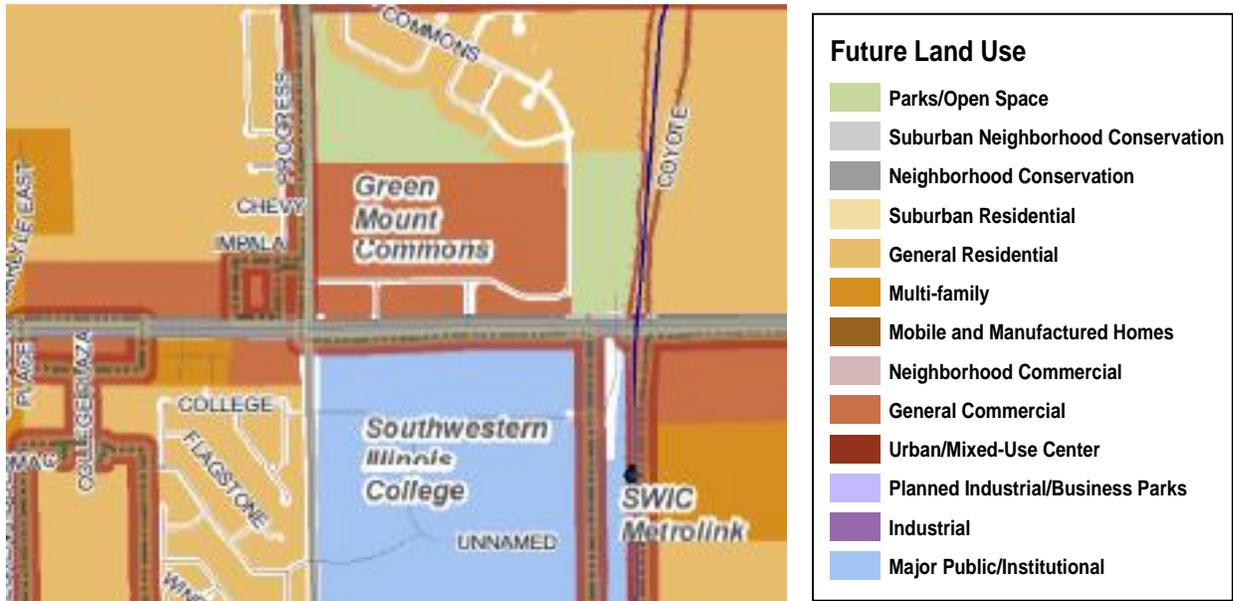
**Location Map:**



**Zoning Classification Map:**



**Comprehensive Plan:** The Future Land Use Map designates the subject parcel as General Commercial and surrounding areas as General Commercial and Major Public/Institutional.



**Background:** The subject site has an existing structure (Former PNC Bank) within the Green Mount Commons Development. The current lot contains approximately 1.51 acres.



**Proposed Vehicle Access:** Ingress and egress to the site are shown to be via the existing curb cut on Green Mount Commons Drive.

**Analysis:**

Per the Applicants' submission, the approximate 5,394 square foot Club Car Wash, with 20 associated vacuum stalls will be constructed on an approximate 60,775 square foot lot within a C-4 (Commercial) district. The plan shows that the existing impervious surface will increase from .71 acres to .80 acres. The remaining greenspace percentage will be 46.98 % of the lot. The proposal includes a combination of 26 stacking spaces and 4 parking spaces which exceeds the minimum requirements.



**Planning Commission**

**Action:**

The Planning Commission has the following options when considering a Site Plan application:

- Recommend approval as submitted, pending clarification of the above referenced review comments.
- Recommend approval with additional conditions.
- Tabling the agenda item to a specific date with clarification of intent and purpose
- Recommend denial

**City Council**

**Action:**

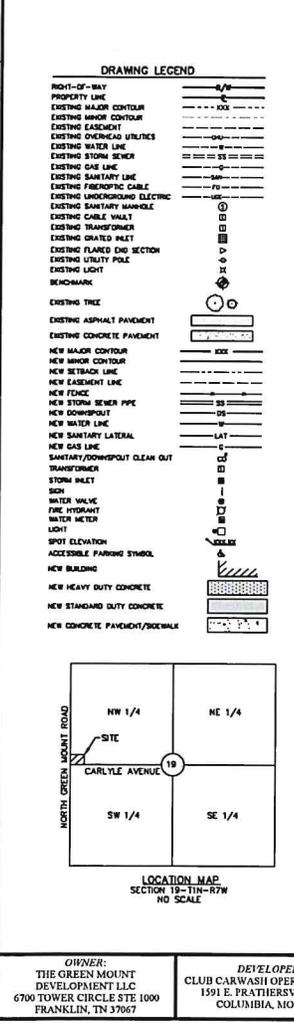
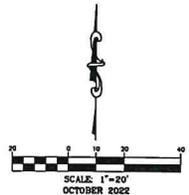
Should the Planning Commission act and make a recommendation on this agenda item, then the Site Plan is expected to be forwarded for City Council action on Monday, November 21, 2022.

**Attachment:**

Application; Site Plan Materials

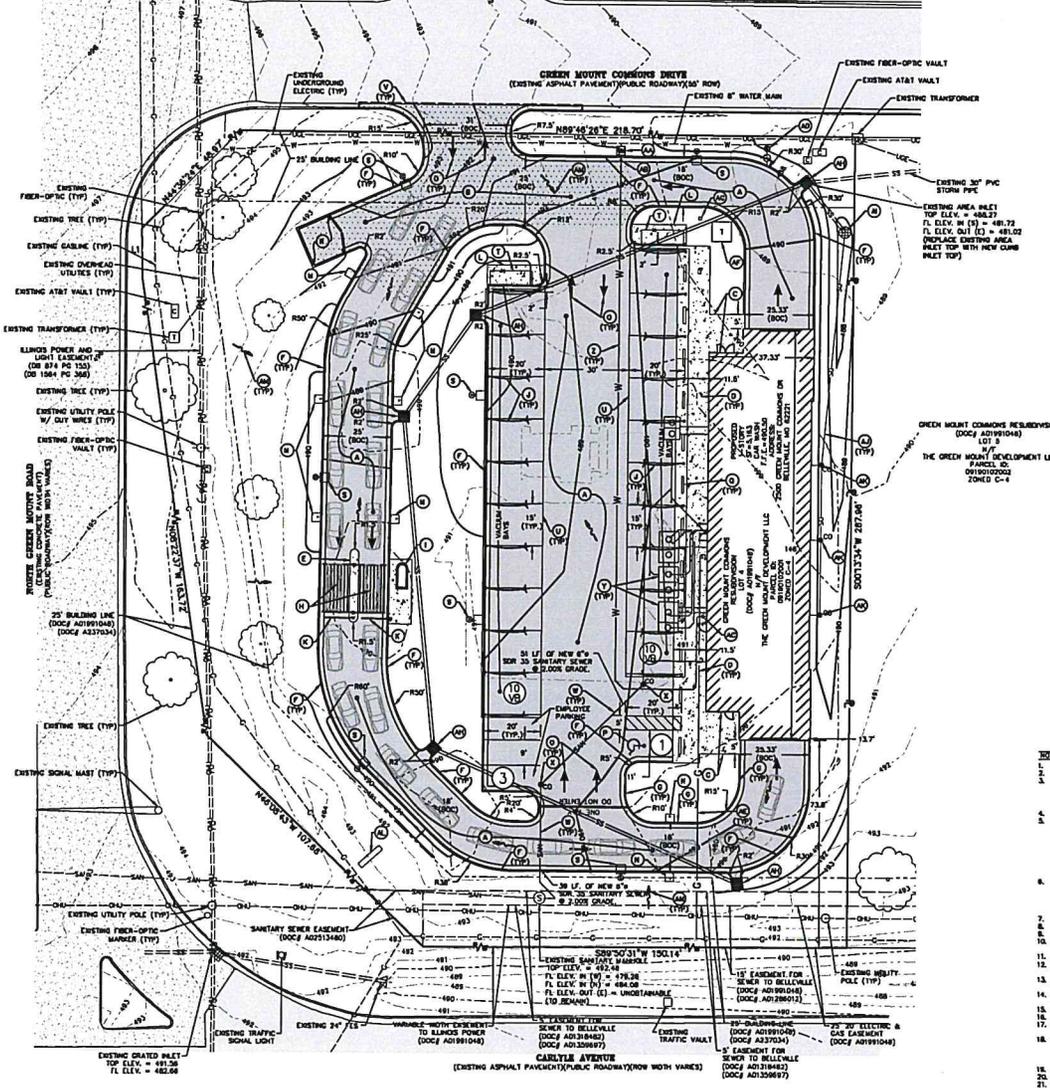
DATE PLOTTED: 10/27/2022 10:45:00 AM PLOTTER: HP DesignJet T1100e

# SITE PLAN



### DRAWING LEGEND

RIGHT-OF-WAY	---
PROPERTY LINE	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
EXISTING EASEMENT	---
EXISTING OVERHEAD UTILITIES	---
EXISTING WATER LINE	---
EXISTING STORM SEWER	---
EXISTING GAS LINE	---
EXISTING SANITARY LINE	---
EXISTING UNDERGROUND ELECTRIC	---
EXISTING SANITARY MANHOLE	---
EXISTING CABLE VAULT	---
EXISTING TRANSFORMER	---
EXISTING GRATED INLET	---
EXISTING FLARED END SECTION	---
EXISTING UTILITY POLE	---
EXISTING LIGHT BENCHMARK	---
EXISTING TREE	---
EXISTING ASPHALT PAVEMENT	---
EXISTING CONCRETE PAVEMENT	---
NEW MAJOR CONTOUR	---
NEW MINOR CONTOUR	---
NEW SETBACK LINE	---
NEW EASEMENT LINE	---
NEW FENCE	---
NEW STORM SEWER PIPE	---
NEW DOWNSPOUT	---
NEW WATER LINE	---
NEW SANITARY LATERAL	---
NEW GAS LINE	---
SANITARY/DOWNSPOUT CLEAN OUT	---
TRANSFORMER	---
STORM INLET	---
SEWER	---
WATER VALVE	---
FIRE HYDRANT	---
WATER METER	---
LIGHT	---
SPOT ELEVATION	---
ACCESSIBLE PARKING SYMBOL	---
NEW BUILDING	---
NEW HEAVY DUTY CONCRETE	---
NEW STANDARD DUTY CONCRETE	---
NEW CONCRETE PAVEMENT/SUBBASE	---



### SITE LEGEND

- 1. NEW STANDARD DUTY CONCRETE PAVEMENT. SEE DETAIL, SHEET 3 OF 5.
- 2. NEW HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL, SHEET 3 OF 5.
- 3. NEW 4" THICK CONCRETE SIDEWALK. SEE DETAIL, SHEET 3 OF 5.
- 4. NEW 2" THICK CONCRETE SIDEWALK. SEE DETAIL, SHEET 3 OF 5.
- 5. NEW 3" WIDE CONCRETE ISLAND. SEE DETAIL, SHEET 3 OF 5.
- 6. NEW 3" WIDE CONCRETE CURB. SEE DETAIL, SHEET 3 OF 5.
- 7. NEW 4" WIDE CONCRETE CURB. SEE DETAIL, SHEET 3 OF 5.
- 8. NEW PRE-FABRICATED STRUCTURE, BY OWNER.
- 9. NEW ATTACHED DOCK, BY OWNER.
- 10. NEW VACUUM ARMS, BY OWNER.
- 11. NEW STOP ARM, BY OWNER.
- 12. NEW 7"X7" CONCRETE PAD FOR VACUUM TURBINE.
- 13. NEW 7"X7" CONCRETE PAD FOR CAMERA ARM.
- 14. NEW 7"X7" CONCRETE PAD FOR CAMERA ARM.
- 15. NEW TRAFFIC FLOW ARROWS. SEE DETAIL, SHEET 3 OF 5.
- 16. NEW ACCESSIBLE PARKING STALL WITH SIGNAGE AND STRIPING. SEE DETAIL, SHEET 3 OF 5.
- 17. NEW WHEEL STOPPING. SEE DETAIL, SHEET 3 OF 5.
- 18. NEW TRASH ENCLOSURE. SEE DETAIL, SHEET 3 OF 5.
- 19. NEW LIGHT STANDARDS. SEE DETAIL, SHEET 3 OF 5.
- 20. NEW METAL TURNING SCREWS. SEE DETAIL, SHEET 3 OF 5.
- 21. NEW TRUSS STRUCTURE FOR VACUUM BAYS, BY OWNER.
- 22. CONTRACTOR TO SAW OUT EXISTING PAVEMENT FULL DEPTH TO ENSURE A SMOOTH JOINT.
- 23. NEW 6"X6" SON 30 PVC SANITARY LATERAL @ 2.00% SLOPE.
- 24. NEW SANITARY CLEAN-OUT.
- 25. NEW SAND AND GRADE INTERSECTIONS.
- 26. NEW 4" DWS WATER SERVICE LINE.
- 27. NEW 2" WATER METER.
- 28. NEW 2" X 4" WORKER.
- 29. NEW 4" X 2" REDUCER.
- 30. RELOCATED FIRE HYDRANT AND VALVE.
- 31. NEW GAS LINE. CONTRACTOR SHALL COORDINATE WITH MEP AND UTILITY PROVIDER.
- 32. NEW TRANSFORMER PAD. CONTRACTOR SHALL COORDINATE WITH MEP AND UTILITY PROVIDER.
- 33. NEW TELEPHONE PEDIESTAL.
- 34. NEW CURB BAY.
- 35. NEW WHEELPADE GATE GRATED INLET.
- 36. NEW DOWNSPOUT COLLECTOR.
- 37. NEW DOWNSPOUT CLEAN-OUT.
- 38. NEW GROUND MONUMENT BORN.
- 39. NEW DRAINAGE FLOW ARROWS.

### NOTES

1. TOTAL SITE AREA: 48,545 SQ. FT. OR 1.11 ACRES
2. EXISTING ZONING: C-4 COMMERCIAL DISTRICT
3. BUILDING SETBACKS:
  - FRONT - 25'
  - REAR - 0'
  - SIDE - 0'
4. THE SITE LAND USE SHALL BE AN AUTOMATIC CARWASH WITH VACUUMS WITH A. AMERICAN WATER-E ST. LEAS
5. THIS SITE IS SERVED BY:
  - SEWER - CITY OF BELLEVILLE
  - TELEPHONE - AT&T DISTRIBUTION
  - ELECTRIC - AMERICAN ELECTRIC SOUTH
  - GAS - AMERICAN ENERGY SOUTH
  - PROTECTIVE - CHARTER COMMUNICATIONS
  - FIRE - CITY OF BELLEVILLE FIRE DEPARTMENT
6. THIS SITE FALLS WITHIN ZONING "C-4" AREAS TO BE DETERMINED BY THE CITY OF BELLEVILLE. THE FINAL FLOOR FINISHES SHALL BE MAINTAINED AT OR ABOVE THE FINISH FLOOR FINISHES BATH SHIP, FOR THE CITY COUNTY, UNIMPROVED AND IMPROVED AREAS SHOWN HEREON. THE EFFECTIVE DATE OF NOVEMBER 3, 2004. FLOOD ZONES ARE DETERMINED BY THE CITY OF BELLEVILLE.
7. EFFORTS WILL BE MADE TO DIRECT DRAINAGE TO EXISTING DRAINAGE POINTS.
8. ALL UTILITIES ARE TO BE LOCATED UNDERGROUND.
9. THE SITE SHALL CONFORM TO THE CITY OF BELLEVILLE STANDARDS.
10. NO INVESTIGATION HAS BEEN PERFORMED BY CONTRACTOR REGARDING HAZARDOUS WASTE.
11. THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
12. ALL PARKING STRIPING SHALL BE 4" WIDE PAINTED YELLOW LINES AND ADA STRIPING SHALL BE BLUE.
13. ALL REPLACEMENT, AND CONNECTION OF THE UTILITIES SHALL BE COORDINATED WITH THE UTILITY COMPANIES.
14. ALL MECHANICAL, HVAC, AND UTILITY EQUIPMENT SHALL BE SCHEDULED FOR PLACEMENT ACCORDING TO CITY REQUIREMENTS.
15. STOPSMOKE SHALL BE DIRECTED TO EXISTING DRAINAGE SYSTEM.
16. ALL UTILITIES SHALL BE PROTECTED BY GRASS SHALL BE SODDED.
17. ACCORDING TO THE PROVIDED PLAN FOR LOCATION, TYPE, SIZE AND QUANTITY, UNDERGROUND UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN. ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN. ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN. ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.
18. ALL OPEN SPACE AND LANDSCAPE BEER SHALL BE SCHEDULED ALL LANDSCAPING MATERIAL AND DESIGN SHALL FOLLOW THE APPROVED LANDSCAPING PLAN INCLUDING TYPES OF PLANTS AND SPACING.

**LEGAL DESCRIPTION:**  
 NEW LOT 4 IN "GREEN MOUNT COMMONS" RESUBDIVISION, BEING A RESUBDIVISION OF A TRACT OF LAND BEING LOTS 13, 14, 15, 16 AND 17 OF GREEN MOUNT COMMONS AS AND PART OF PLAT BOOK 108 PAGES 100 AND 101 LOCATED IN PART FRACTIONAL SECTION 18 AND PART OF U.S. BUNNY 782 TOWNSHIP 1 NORTH, RANGE 7 WEST OF BELLEVILLE RECORDS JAN 7 78, 308 AS DOCUMENT APPROVED IN ST. CLAIR COUNTY, ILLINOIS.

**MINIMUM PARKING DIMENSIONS:**  
 REGULAR PARKING - 11'X18'  
 ADA PARKING - 11'X18'  
 ADA VAN PARKING - 11'X18'  
 ADA ACCESSIBLE STRIPING - 5'X11'  
 PARKING DRIVE AXLES (TRD-BAY) - 23'W MIN.

**PARKING REQUIREMENTS:**  
 3 SPACES PER VEH. LINE

**TOTAL SPACES REQUIRED:**  
 TOTAL SPACES PROVIDED = 0 SPACES  
 TOTAL SPACES REQUIRED = 3 SPACES  
 TOTAL STAGING SPACES REQUIRED = 1 SPACES  
 ADA TOTAL SPACES PROVIDED = 1 SPACES  
 ADA TOTAL SPACES REQUIRED = 1 SPACES

**NOTES:**  
 SHEET 3 OF 5 FOR SITE LIGHTING PHOTOGRAPHIC.

ALL UNDERGROUND ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL UNDERGROUND ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

VACUUM STATIONS:  
 PROVIDED = 20 VACUUM STATIONS

**NOTES:**  
 INDICATION METER AND SIGNALING PREVENTED LOCATED WIDE BUILDING.

**LOT COVERAGE REQUIREMENTS:**  
 GREEN SPACE = 30.843 SF (0.698%)  
 PAVEMENT AND BALDING = 24,402 SF (50.07%)

EXISTING ASPHALT AREA = 0.71 AC.  
 PROPOSED ASPHALT AREA = 0.96 AC.

**NOTES:**  
 PROPOSED BUILDING - MAX HEIGHT = 28'

Professional Engineer  
 License No. 000000000  
 State of Illinois  
 Mechanical Engineering

**OCHAN**  
 ARCHITECTURE  
 1500 N. WASHINGTON ST.  
 SUITE 200  
 CHICAGO, IL 60610  
 TEL: 312.467.1000  
 FAX: 312.467.1001  
 WWW.OCHANARCHITECTS.COM

Professional Engineer  
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**PRELIMINARY SITE PLANS**  
**CLUB CARWASH**  
**BELLEVILLE, ILLINOIS**

DATE: 10/27/2022  
 TIME: 10:45:00 AM  
 PLOTTER: HP DesignJet T1100e

SCALE: 1"=20'  
 OCT 2022

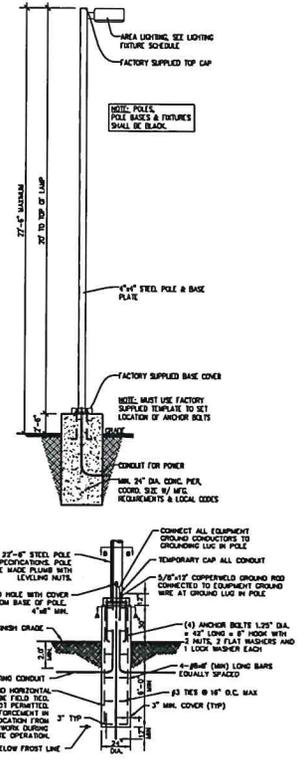
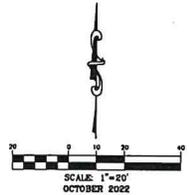
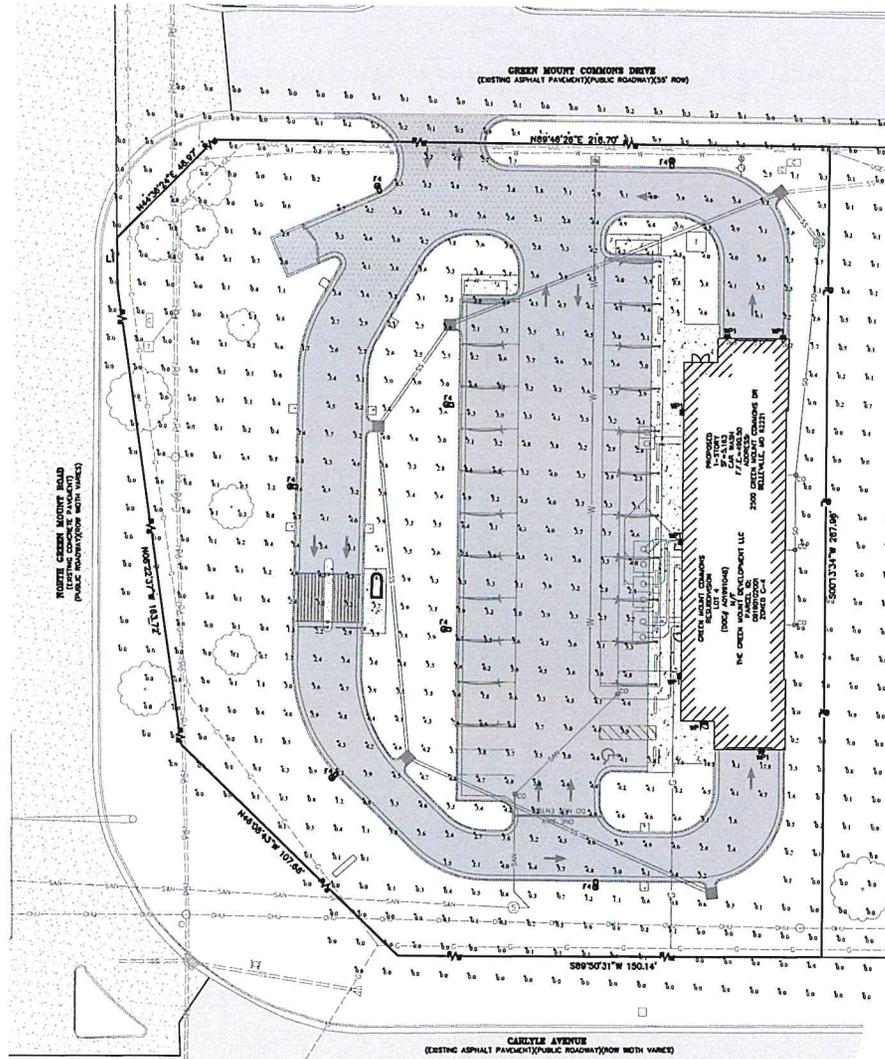
M21-8274

1 OF 5





# PHOTOMETRICS PLAN



- NOTES:**
- 3000 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
  - IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
  - FOUNDATION CONSTRUCTION SHALL BE BY 34\"/>
- STANDARD LIGHT DETAIL**  
NO SCALE

**Calculation Summary**

Layer	Units	Avg	Min	Max	Avg/Min	Max/Min
Site	Fc	4.18	29.3	11.7	3.5	13.8
Spill Spc	Fc	0.18	4.0	0.0	N/A	N/A

**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	LF	Lum. Watts	Total Watts	Description
CS	7	F4	Single	0.913	288	1843	SAUC-SASC-740-U-T4P-155
SH	7	SP1	Single	0.900	37.7	263.9	21048-W

**OWNER:**  
THE GREEN MOUNT DEVELOPMENT LLC  
6700 TOWER CIRCLE STE 1000  
FRANKLIN, TN 37067

**DEVELOPER:**  
CLUB CARWASH OPERATING, LLC  
1391 E. FRATHERSVILLE RD.  
COLUMBIA, MO 63022

PHOTOMETRICS PLAN

DATE: 10/10/2022

BY: KAF

CHECKED BY: ESK

DATE: OCT 2022

SCALE: 1:20

PROJECT NO: M21-0274

3 OF 5

**COCHAN**  
Professional Services  
1100 N. Third Street  
Belleville, Missouri 63003  
TEL: 636-337-0700  
WWW.COCHAN.COM

Professional Seal: ERIC S. BROCHER, P.E., License No. 061-037063

PRELIMINARY SITE PLANS  
CLUB CARWASH  
BELLEVILLE, ILLINOIS

DATE PLOTTED: 10/10/2022 10:10:10 AM





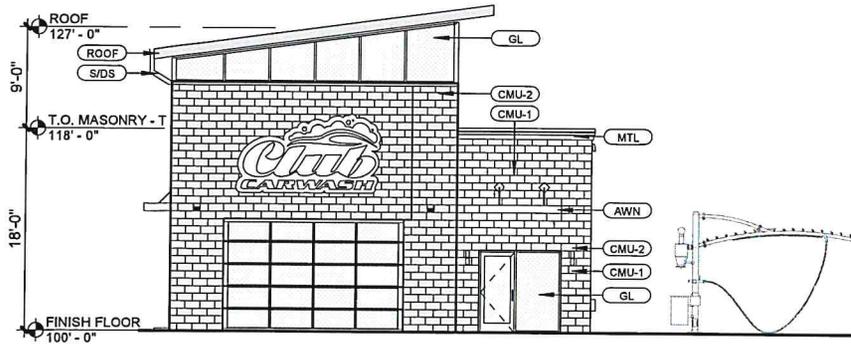
**EXTERIOR COLOR PALETTE**

	ARCHITECTURAL 8" CMU SMOOTH FACE BLOCK COLOR: Ivory		STOREFRONT COLOR: Black Painted		METAL AWNINGS COLOR: Red
	ARCHITECTURAL 8" CMU SPLIT FACE BLOCK COLOR: Slate		SCUPPERS, DOWNSPOUTS, AND METAL COPINGS COLOR: Kynar Finish Matte Black		

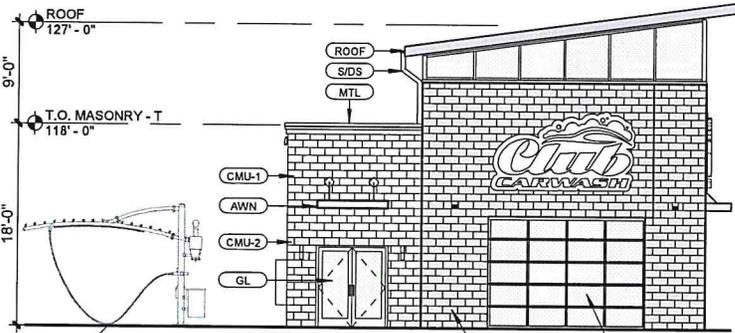


CLUB CAR WASH RENDERING



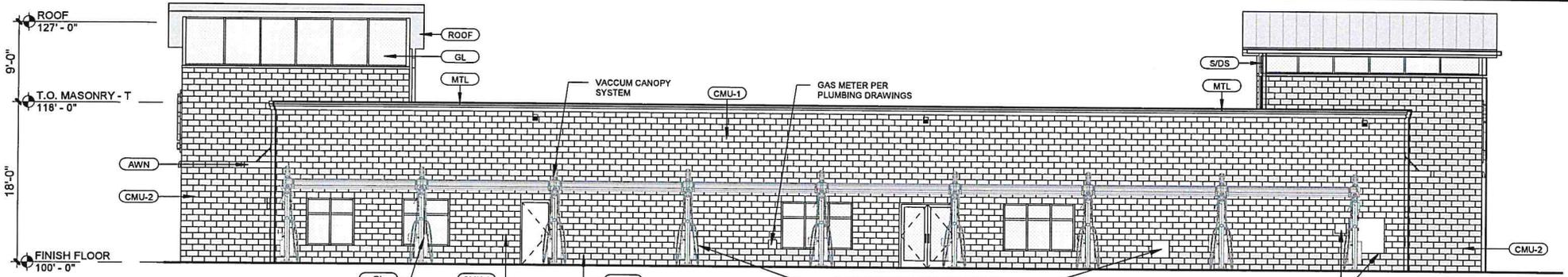


NORTH ELEVATION | 3/32" = 1'-0"

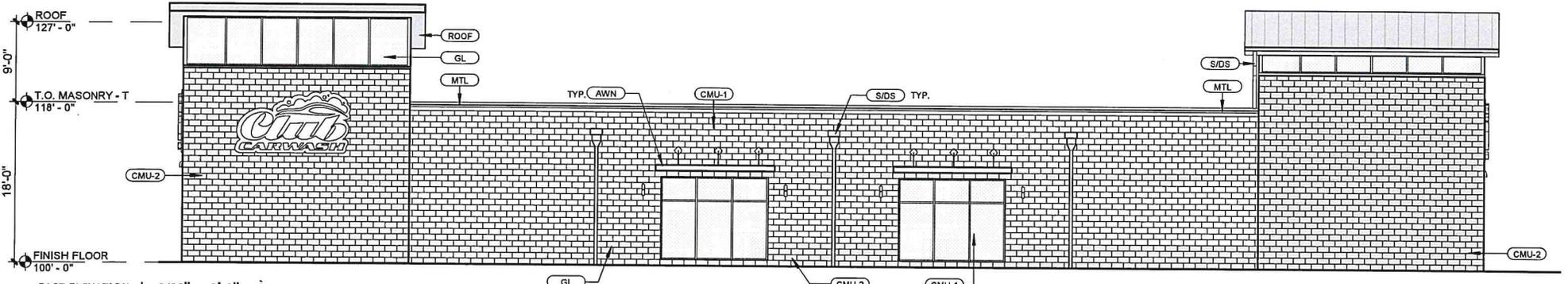


SOUTH ELEVATION | 3/32" = 1'-0"

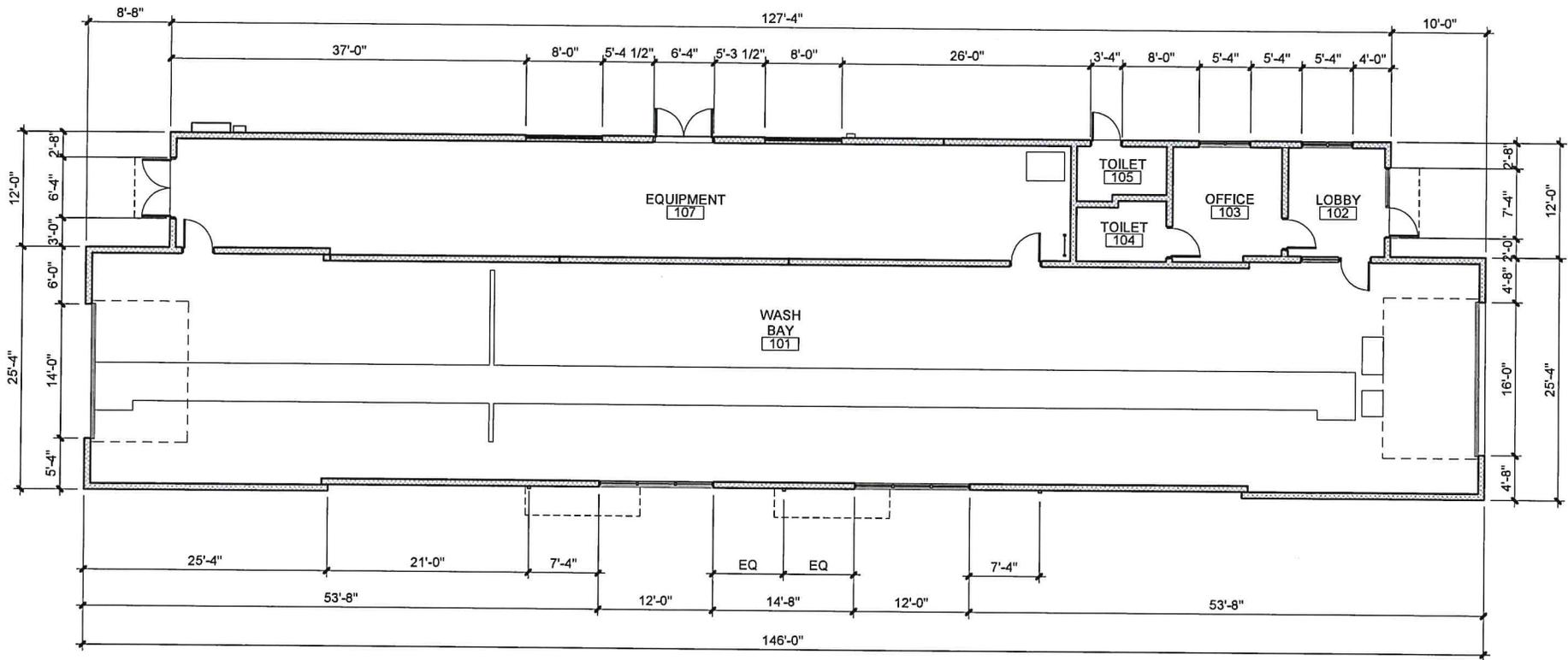
EXTERIOR MATERIAL LEGEND	
CMU-1	ARCHITECTURAL 8" CMU SMOOTH FACE BLOCK (COLOR: Ivory)
CMU-2	ARCHITECTURAL 8" CMU SPLIT FACE BLOCK (COLOR: Slate)
GL	ALUMINUM STOREFRONT GLAZING SYSTEM 2"x4 1/2" Thermal Storefront Framing in Black Painted Aluminum, w/ 1" Insulated LOW-E Tinted Glazing Unit
AWN	PREFABRICATED PAINTED FLAT METAL AWNING (COLOR: Matte Black)
S/DS	PREFINISHED KYNAR-COATED SHEET METAL SCUPPER AND DOWNSPOUTS (COLOR: Matte Black)
MTL	PREFINISHED KYNAR COATED METAL COPING (COLOR: Matte Black)
ROOF	SINGLE PLY TPO OVER TAPERED INSULATION STANDING SEAM METAL ROOF WITH METAL FASCIA (COLOR: Matte Black)



WEST ELEVATION | 3/32" = 1'-0"



EAST ELEVATION | 3/32" = 1'-0"



FLOOR PLAN





**CITY OF BELLEVILLE  
ECONOMIC DEVELOPMENT, PLANNING AND ZONING DEPARTMENT**

**APPLICATION FOR SITE PLAN**

**Subject Property Address:** 2500 Green Mount Commons Drive

Applicant/Developer Name: Club Carwash Operating, LLC

Mailing Address: 1591 E. Prathersville Road

City: Columbia State: MO Zip: 65202

Telephone: 573-999-5178 Email: jbarnes@clubcarwash.com

Property Owner Name: The Green Mount Devel, LLC

Mailing Address: ~~6700 Tower Cir, Ste. 1000~~ 211 N. Stadium Blvd.

City: ~~Columbia~~ Columbia State: ~~MO~~ MO Zip: ~~65203~~ 65203

Telephone: \_\_\_\_\_ Email: \_\_\_\_\_

I certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate. I consent to the entry in or upon the premises described in this application by any authorized official of the City of Belleville for the purpose of inspecting, or of posting, maintaining and removing such notices as may be required by law.

(Printed Applicant Name) Justin Barnes has appeared before me personally and certified that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate.

Signature of Applicant: [Signature] Date: 9/19/2022

Subscribed and Sworn to before this 19<sup>th</sup> day of September A.D., 2022  
(day) (month) (year)

Notary Public: [Signature]

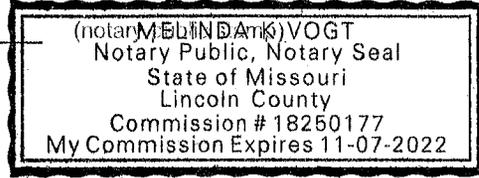
notary public: **AMY ARENS**  
Notary Public - Notary Seal  
State of Missouri  
My Commission Expires Jan. 4, 2023  
Commission # 15632441

(Printed Owner) **Lou Malamas** has appeared before me personally and certified that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate.

Signature of Owner: [Signature] Date: 9/27/22

Subscribed and Sworn to before this 27<sup>th</sup> day of September A.D., 20 22.  
(day) (month) (year)

Notary Public: [Signature]



**Site Information:**

Legal Description: Lots/Section(s): Lot 4 in A01961779 Block(s): \_\_\_\_\_  
Subdivision: Green Mount Commons Resub

Project Name: Club Carwash

Current Zoning: C4

Current Use: Bank

Proposed Use of Building: Fully Automated Carwash with Vacuum Bays

Square Footage of Existing Building: 2,958

Square Footage of Proposed Building: Approximately 5,394

**Submittal Process:**

- Completed Application submitted to Economic Development, Planning, and Zoning Department by noon on the last Friday of Month A.
- Staff meets first Thursday of Month B to discuss and review plans, returns comments.
- Staff meets with Applicant second Thursday of Month B to review revisions or answer questions regarding comments.
- Pending staff has signed off on all revisions, staff prepares materials for public meetings.
- Site Plan goes before Zoning Board of Appeals on fourth Thursday of Month B for a recommendation.
- Site Plan goes before Planning Commission on first Wednesday of Month C for a recommendation.
- Site Plan goes before next available City Council Meeting, either first or third Monday of Month C for final decision.
- If approved, submit copies of final Site Plan to Economic Development, Planning, and Zoning for recording with St. Clair County
- Submit building and construction plans to Health, Housing, and Building for review.
- Pre-Construction meeting, highly recommended
- Development Agreement executed, if applicable
- Building Permit Issued
- Final Acceptance is issued
- Commercial Occupancy Permit(s), Business License(s), and Sign Permit(s) applied for & issued

Economic Development, Planning, and Zoning Department  
Belleville, Illinois 62220  
Phone: 618-233-6810 x 1250 • Fax: 618-355-4260 • Email: EDPZ@belleville.net

**Parties of Interest**

Please provide contact information for all parties involved in project.

Principal Contact: Justin Barnes Title: VP of Development

Business Name: Club Carwash

Street Address: 1591 Prathersville Road

City: Columbia State: MO Zip: 65202

Telephone: 573-999-5178

Email: jbarnes@clubcarwash.com

Engineer: Eric Kirchner

Business Name: Cochran

Street Address: 8 East Main St.

City: Wentzville State: MO Zip: 63385

Telephone: 636-332-4574

Email: ekirchner@cochraneng.com

Architect: Holly Bergman

Business Name: FinkleWilliams

Street Address: 8787 Renner Blvd; Suite 100

City: Lenexa State: KS Zip: 66219

Telephone: 913-498-1550

Email: hbergman@finklewilliams.com

Other: \_\_\_\_\_

Business Name: \_\_\_\_\_

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

Other: \_\_\_\_\_

Business Name: \_\_\_\_\_

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

(Attach additional sheets as necessary.)



**ECONOMIC DEVELOPMENT, PLANNING & ZONING DEPARTMENT  
MEMORANDUM**

**Meeting Date:** November 2, 2022

**To:** Planning Commission

**From:** Clifford Cross, AICP  
Director

**Subject:** **Immuno Tek Bio Centers:** Site Plan approval for the construction of an approximate 9,000 square foot Plasma Donor Center (Medical Office Building), with 56 parking spaces on an approximate 103,237 square foot lot within a C-2 (Heavy Commercial) district. (Parcel – 08-18.0-100-031) Ward 8.

**Actions Requested:** The applicant Immuno Tek Bio Centers is requesting a recommendation by the Planning Commission to the City Council for the above-referenced submittal.

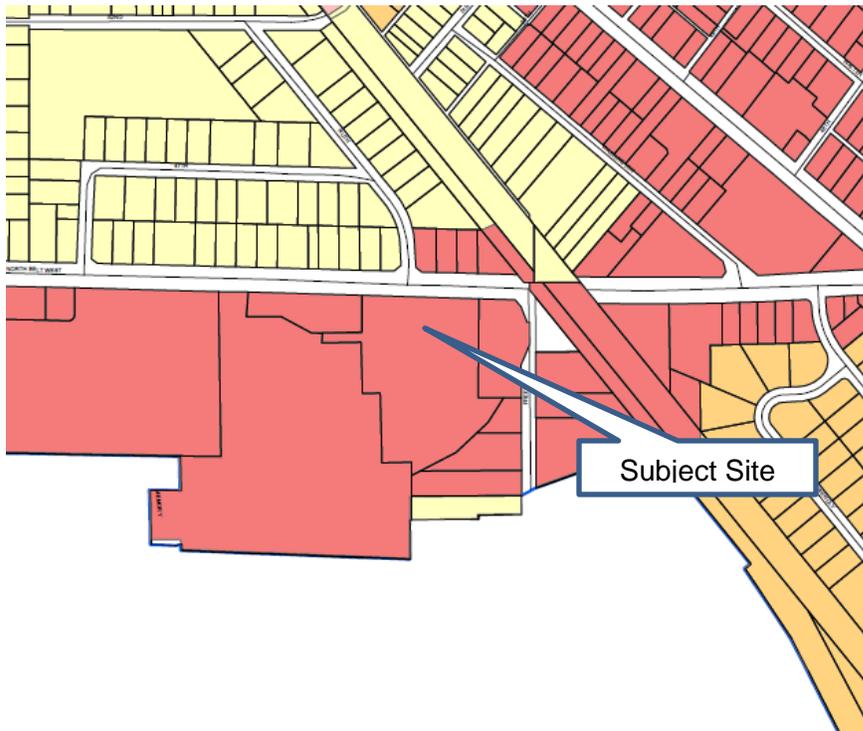
**Property Description:** The subject site, is approximately 2.37 acres and is located at the property legally defined as “08-18.0-100-031 Schmisseurs A.P. Subdivision.” and commonly addressed 5510 North Belt West.

**Surrounding Zoning & Land Uses:** Properties surrounding the subject property are zoned “C-2” (Heavy Commercial). There is existing commercial development throughout the area surrounding the site. The development is located on the south side of North Belt West and east of the existing car wash and drive inn theater.

**Location Map:**



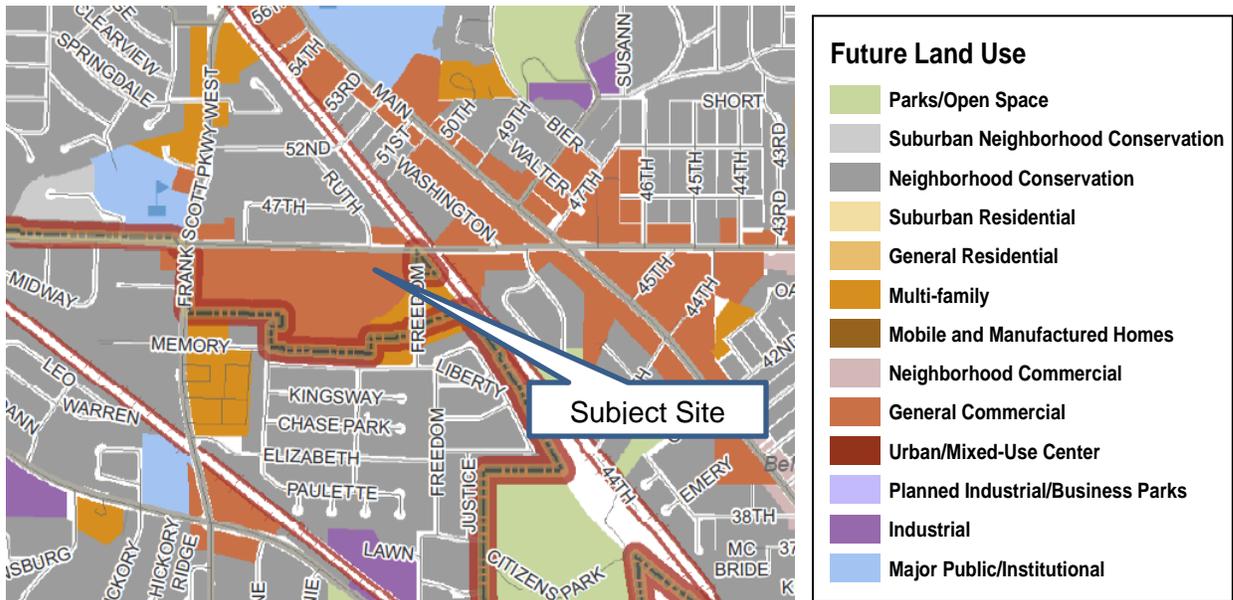
**Zoning Classification Map:**



**Zoning Districts**

-  A-1 Single-Family Residence
-  A-1A Single-Family Residence
-  A-1H Single-Family Residence
-  A-2 Two-Family Residence
-  MH-2 Mobile Home Park
-  B-1 Multi-Family Residence
-  C-1 Light Commercial
-  C-2 Heavy Commercial
-  C-3 Commercial
-  C-4 Commercial
-  C-5 Planned Commercial
-  D-1 Light Industry
-  D-2 Heavy Industry
-  AGR Agriculture/Rural

**Comprehensive Plan:** The Future Land Use Map designates the subject parcel as General Commercial and surrounding areas as General Commercial and Neighborhood Conservation.



**Background:** The subject site is an existing parking lot. The original lot was part of a boundary adjustment to establish the current 2.37 acre site.



**Proposed Vehicle Access:** Ingress and egress to the site are shown to be via the existing curb cut on North Belt West.

**Analysis:** Per the Applicants' submission, the approximate 9,000 square foot Plasma Donor (Medical Facility), with 56 associated parking spaces will be constructed on an approximate 103,237 square foot lot within a C-2(Heavy Commercial) district. The proposed 56 parking spaces exceeds the minimum requirements.



**Planning Commission**

**Action:**

The Planning Commission has the following options when considering a Site Plan application:

- Recommend approval as submitted, pending clarification of the above referenced review comments.
- Recommend approval with additional conditions.
- Tabling the agenda item to a specific date with clarification of intent and purpose
- Recommend denial

**City Council**

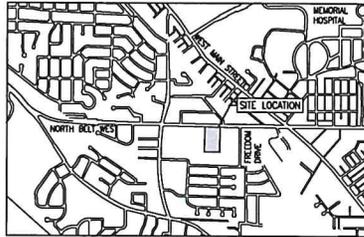
**Action:**

Should the Planning Commission act and make a recommendation on this agenda item, then the Site Plan is expected to be forwarded for City Council action on Monday, November 21, 2022.

**Attachment:**

Application; Site Plan Materials

# PLASMA DONOR CENTER SITE IMPROVEMENT PLANS 5510 NORTH BELT WEST CITY OF BELLEVILLE ST. CLAIR COUNTY, ILLINOIS



### UTILITIES

WATER  
SEWER  
ELECTRIC  
GAS  
J.U.L.I.E.

ILLINOIS AMERICAN WATER CO.  
CITY OF BELLEVILLE  
AMEREN IP  
AMEREN IP

(800) 422-2782  
(618) 231-7146  
(800) 755-5000  
(800) 755-5000  
(800) 982-0123

### CITY OF BELLEVILLE

ZONING: C-2  
WARD 8

### ENGINEER / LAND SURVEYOR

THOUVENOT, WADE & MOERCHEN, INC.  
4940 OLD COLLINSVILLE ROAD  
SWANSEA, ILLINOIS  
62226  
(618) 624-4488  
mmaller@twm-inc.com

### OWNER'S NAME

COLLECTION CENTER  
PROPERTY COMPANY  
330 MADISON AVENUE, 20TH FLOOR  
NEW YORK, NEW YORK  
10017  
(212) 259-0565  
NICHOLAS BERK



CONSULTING ENGINEERING  
GEOSPATIAL SERVICES

ILLINOIS SWANSEA  
WATERLOO  
EDWARDSVILLE  
PEORIA

MISSOURI ST. CHARLES  
ST. LOUIS  
COLUMBIA

TENNESSEE | NASHVILLE

### THOUVENOT, WADE & MOERCHEN, INC.

SWANSEA  
4940 OLD COLLINSVILLE ROAD  
SWANSEA, ILLINOIS  
62226  
(618) 624-4488  
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PROF. LICENSE	NUMBER
IL. PROF. DESIGN FIRM	184-001220
IL. PROF. ENGR. CORP.	62-033370
IL. PROF. STR. ENGR. CORP.	01-000202
IL. PROF. LAND SURV. CORP.	048-000029
KS. PROF. ENGR. FACILITY	E-3296
MO. PROF. ENGR. CORP.	001558
MO. LAND SURVEYING CORP.	000264
TN. PROF. ENGR. FIRM	8974

SEAL

SIGNATURE:  
DATE SIGNED:  
LICENSE EXPIRATION:

ISSUED FOR REVIEW  
OCTOBER 11, 2022

REV.	DATE	DESCRIPTION
△		
△		
△		
△		

DRAWN BY: LEM  
DESIGNED BY: BYF  
CHECKED BY: M.M.A.  
APPROVED BY: M.M.A.  
PROJECT NO: D012112518

PROJECT:  
PLASMA DONOR CENTER  
CITY OF BELLEVILLE  
ST. CLAIR COUNTY  
ILLINOIS

TITLE:  
COVER SHEET AND GENERAL  
NOTES

CHECK SET: AUGUST 19, 2022  
SUBMITTAL: SEPTEMBER 12, 2022  
RESUBMITTAL: OCTOBER 11, 2022

C-1

### PROJECT CRITERIA

PRIOR TO COMMENCEMENT OF ANY WORK, OR ORDERING ANY MATERIALS, THE CONTRACTOR SHALL REVIEW ALL PLANS, SPECIFICATIONS, AND THE PROJECT SITE(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATION TO THESE PLANS OR OF ANY FIELD CONFLICTS.

SHOULD IT APPEAR THAT THE WORK TO BE PERFORMED OR ANY MATTER RELATIVE THEREOF IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY PRIOR TO COMMENCING WORK.

THESE PLANS AND SPECIFICATIONS ARE SUBJECT TO MODIFICATIONS DURING CONSTRUCTION WHEN CONDITIONS DEVELOP THAT WERE NOT APPARENT DURING THE DESIGN OF THE PLANS AND SPECIFICATIONS. ALL MODIFICATIONS MUST BE APPROVED BY ALL PERTINENT AGENCIES HAVING JURISDICTION OVER THIS PROJECT PRIOR TO CONSTRUCTION AND/OR IMPLEMENTATION OF PROPOSED CHANGES.

IN THE EVENT OF ANY DISCREPANCY BETWEEN ANY DRAWING OR ANY DRAWING AND SPECIFICATION AND FIGURES WRITTEN THEREON, THE CONTRACTOR SHALL NOTIFY ENGINEER FOR WRITTEN CLARIFICATION OF THE DISCREPANCY PRIOR TO COMMENCING THE WORK IN QUESTION. ONLY THOSE DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE UTILIZED FOR DETERMINATION OF LOCATION AND SIZES OF PROPOSED IMPROVEMENTS. DO NOT SCALE DRAWINGS.

### CONTRACTOR SAFETY RESPONSIBILITIES

THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROJECT SITE(S) CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL, OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

TWM, INC. SHALL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES IN CONNECTION WITH THE WORK.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING ANY AND ALL TRAFFIC BARRICADES, MARKERS, SIGNS, FLAGMEN, TRAFFIC POLICE, AND/OR OTHER FACILITIES AS MAY BE REQUIRED BY THE VARIOUS JURISDICTIONS HAVING AUTHORITY OVER THIS PROJECT TO PROTECT THE GENERAL PUBLIC. SIGNS AND PROTECTIVE DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO NOTIFY THE STATE AND LOCAL POLICE, EMERGENCY SERVICE AGENCIES, AMBULANCE SERVICES, AND FIRE DEPARTMENTS OF ANY PROPOSED TRAFFIC DIVERSIONS.

### UTILITIES

ANY RELOCATION OF PUBLIC OR PRIVATE UTILITIES SHALL BE UNDERTAKEN IN ACCORDANCE WITH ALL REQUIREMENTS OF THE UTILITY COMPANY AND WITH REGARD TO THE REQUIRED FEES, BONDS, PERMITS, AGREEMENTS, WORKING CONDITIONS, SAFETY CERTIFICATIONS, ETC. OF SAID COMPANY OR JURISDICTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND JURISDICTIONS A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO ALLOW THE UTILITIES TO MARK THEIR SYSTEMS OR TO ALLOW THE PERTINENT JURISDICTIONS TIME TO COORDINATE THEIR STAFF, MATERIALS, AND EQUIPMENT TO CONDUCT INSPECTION.

ALL UTILITIES INCLUDING BUT NOT LIMITED TO FIRE HYDRANTS, VALVE PIT COVERS, VALVE BOXES, METER VAULTS, CURB STOP BOXES, FIRE OR POLICE CALL BOXES, TRAFFIC CONTROL SIGNALS OR OTHER UTILITY'S APPURTENANCES SHALL BE UN-OBSTACLED AND ACCESSIBLE DURING THE CONSTRUCTION PERIOD.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING OR INSTALLED UTILITIES OR STRUCTURES DURING CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY OR JURISDICTION TO ENSURE APPROPRIATE REPAIR IS MADE IN ACCORDANCE WITH THE UTILITY OR JURISDICTIONS REQUIREMENTS. CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING UTILITIES.

UTILITIES AND APPURTENANCES TO REMAIN IN THEIR PRESENT LOCATION SHALL BE ADJUSTED TO GRADE.

### UTILITY DISCLAIMER

THE TYPE, SIZE, AND LOCATION OF UTILITIES AS DELINEATED ON THESE DRAWINGS AND/OR CIVIL ENGINEERING DESIGN DOCUMENTS HAVE BEEN PLOTTED BY REVIEW OF AVAILABLE "AS-BUILT" OR RECORD DRAWINGS, FIELD SURVEY OF J.U.L.I.E. MARKED UTILITIES, OR FIELD SURVEY OF ABOVE-GROUND SURFACE UTILITY FEATURES. THE OWNER AND ENGINEER HAVE NOT UNDERTAKEN ANY EXPLORATORY INVESTIGATIONS TO CONFIRM OR VERIFY THE UTILITY LOCATION SHOWN ON THESE DOCUMENTS. THEREFORE, THE UTILITIES EXACT LOCATION, SIZE, TYPE, AND FUNCTION MUST BE CONSIDERED APPROXIMATE AND FIELD VERIFICATION OF UTILITIES BY THE CONTRACTOR MUST BE UNDERTAKEN.

THE OWNER AND ENGINEER FURTHER DO NOT WARRANT THAT ALL UTILITIES HAVE BEEN ILLUSTRATED ON THESE DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTACTING J.U.L.I.E. AND ALL NONMEMBER J.U.L.I.E. UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES FOR FIELD VERIFICATION OF ALL UTILITIES ON THE SITE PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DETERMINES THAT A SUBSTANTIAL DISCREPANCY EXISTS BETWEEN FIELD VERIFIED UTILITIES AND THOSE PRESENTED ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER FOR CLARIFICATION AND PROJECT DIRECTION.

### TITLE / RIGHT-OF-WAY DISCLAIMER

TWM DOES NOT WARRANT THAT THESE DOCUMENTS CONTAIN COMPLETE INFORMATION REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, RIGHT-OF-WAY BUILDING LINE SETBACKS AND OTHER ENCUMBRANCES. FOR COMPLETE INFORMATION, A CERTIFIED TITLE REPORT, OPINION, OR COMMITMENT FOR TITLE INSURANCE SHOULD BE OBTAINED AND THOROUGHLY REVIEWED.

### F.E.M.A. CLASSIFICATION

FLOOD PLAIN MAP 17163C0195D, DATED 11-05-2003, SHOWS THAT NO PORTION OF SAID PROPERTY IS WITHIN A FLOOD PLAIN ZONE.

### GENERAL PROJECT SPECIFICATIONS

ALL WORK, INSTALLATION, PROCEDURES, MATERIALS, AND TESTING SHALL CONFORM TO THE FOLLOWING:

- STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION
- RECOMMENDED STANDARDS FOR WATER WORKS, LATEST EDITION
- ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS, LATEST EDITION
- ILLINOIS PLUMBING CODE, LATEST EDITION 77 IL. ADMINISTRATIVE CODE, PART 890
- STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION AND ALL SUPPLEMENTS
- IEPA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION
- ILLINOIS URBAN MANUAL, LATEST EDITION
- FHWA - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- UNITED STATES DISABILITY ACT AND THE ILLINOIS ADA
- ALL STATE, MUNICIPAL, AND LOCAL UNITS OF GOVERNMENT REGULATIONS HAVING JURISDICTION OVER THE PROJECT

TO THE EXTENT IN WHICH ANY INCONSISTENCIES, OR DISCREPANCIES EXIST BETWEEN THE LISTED SPECIFICATION, STANDARD, CODES, OR GUIDELINES BY GOVERNING BODIES AND/OR THESE PLANS AND SPECIFICATIONS, THE MOST STRINGENT SPECIFICATION AND/OR STANDARD SHALL BE BINDING AND APPLICABLE.

THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO ALL IEPA-NPDES STORM WATER PERMIT REQUIREMENTS FOR CONSTRUCTION SITE ACTIVITIES, AND THE STORM WATER POLLUTION PREVENTION PLAN FOR THE PROJECT SITE.

WHERE SECTION OR SUB-SECTION SURVEY MONUMENTS ARE ENCOUNTERED, THE CONTRACTOR SHALL PROTECT AND CAREFULLY PRESERVE ALL PROPERTY MARKERS AND MONUMENTS UNTIL THE OWNER AND AUTHORIZED SURVEYING AGENT HAVE WITNESSED OR OTHERWISE REFERENCED THEIR LOCATION.

ALL ABANDONED UNDERGROUND STRUCTURES ENCOUNTERED SHALL BE REMOVED TO SUFFICIENT DEPTH TO ENABLE THE PERTINENT UTILITIES TO BE CONSTRUCTED.

ALL ITEMS DESIGNATED FOR REMOVAL SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN COMPLIANCE WITH ALL CITY, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL CONSTRUCTION MATERIALS AND DEBRIS RESULTING FROM THE CONSTRUCTION OPERATIONS.

ALL WORK, MATERIALS, AND INSTALLATION SHALL NOT BE DEEMED SATISFACTORY UNTIL SUCH TIME THAT APPROVAL IS OBTAINED FROM THE AGENCY HAVING JURISDICTION OVER THE PROJECT.

THE CONTRACTOR SHALL PROCEED AT HIS OWN RISK IN PERFORMING ANY WORK PRIOR TO VERIFYING OR RECEIVING ALL NECESSARY PERMITS.

### SITE ZONING -

ZONING: C-2 HEAVY COMMERCIAL

### SITE AREA CLASSIFICATIONS

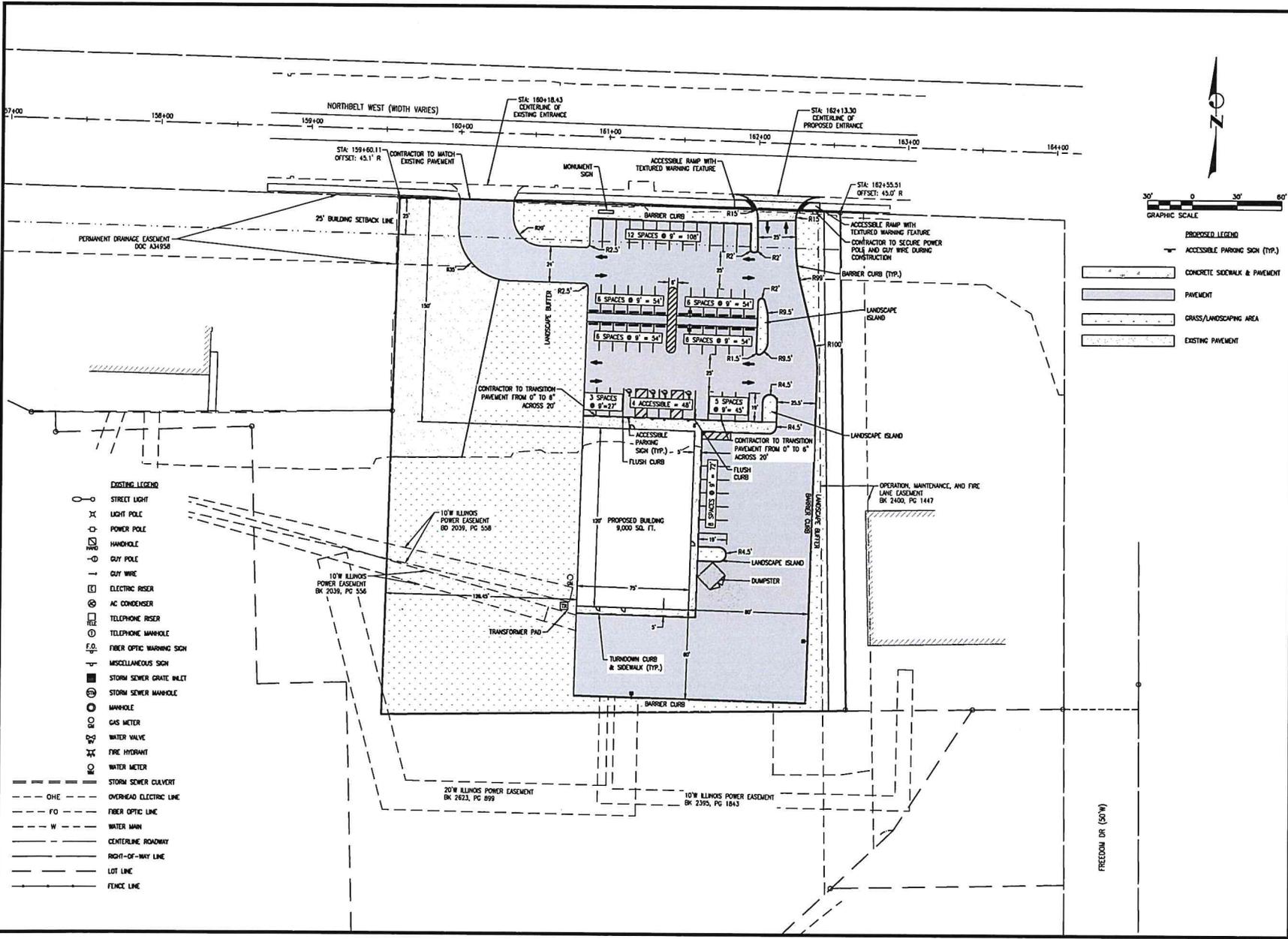
LOT AREA: 2.37± ACRES

### NO.

### DRAWING TITLE

C-1	COVER SHEET AND GENERAL NOTES
C-2	EXISTING TOPOGRAPHY AND DEMOLITION PLAN
C-3	SITE PLAN
C-4	UTILITY PLAN
C-5	GRADING AND EROSION CONTROL PLAN
C-6	EROSION CONTROL AND PAVEMENT DETAILS
C-7	ACCESSIBILITY DETAILS
C-8	UTILITY DETAILS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS





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**THOUVENOT, WADE  
& MOERCHEN, INC.**

SWANSEA  
4940 OLD COLLINSVILLE ROAD  
SWANSEA, ILLINOIS  
62226  
(618) 624-4488  
WWW.TWM-INC.COM

PROF. LICENSE	NUMBER
IL. PROF. DESIGN FIRM	184-001220
IL. PROF. ENGR. CORP.	62-035370
IL. PROF. LAND SURV. CORP.	81-002052
IL. PROF. LAND SURV. CORP.	044-000229
KS. PROF. ENGR. FACILITY	E-3254
MO. PROF. ENGR. CORP.	001528
MO. LAND SURVEYING CORP.	000246
TN. PROF. ENGR. FIRM	8974

SEAL

SIGNATURE:

DATE SIGNED:

LICENSE EXPIRATION:

ISSUED FOR

DATE OF ISSUANCE

REV.	DATE	DESCRIPTION
△		
△		
△		
△		

DRAWN BY: LEM

DESIGNED BY: BYP

CHECKED BY: MJM

APPROVED BY: MJM

PROJECT NO: D01211251B

PROJECT:

PLASMA DONOR CENTER  
CITY OF BELLEVILLE  
ST. CLAIR COUNTY  
ILLINOIS

TITLE:

SITE PLAN

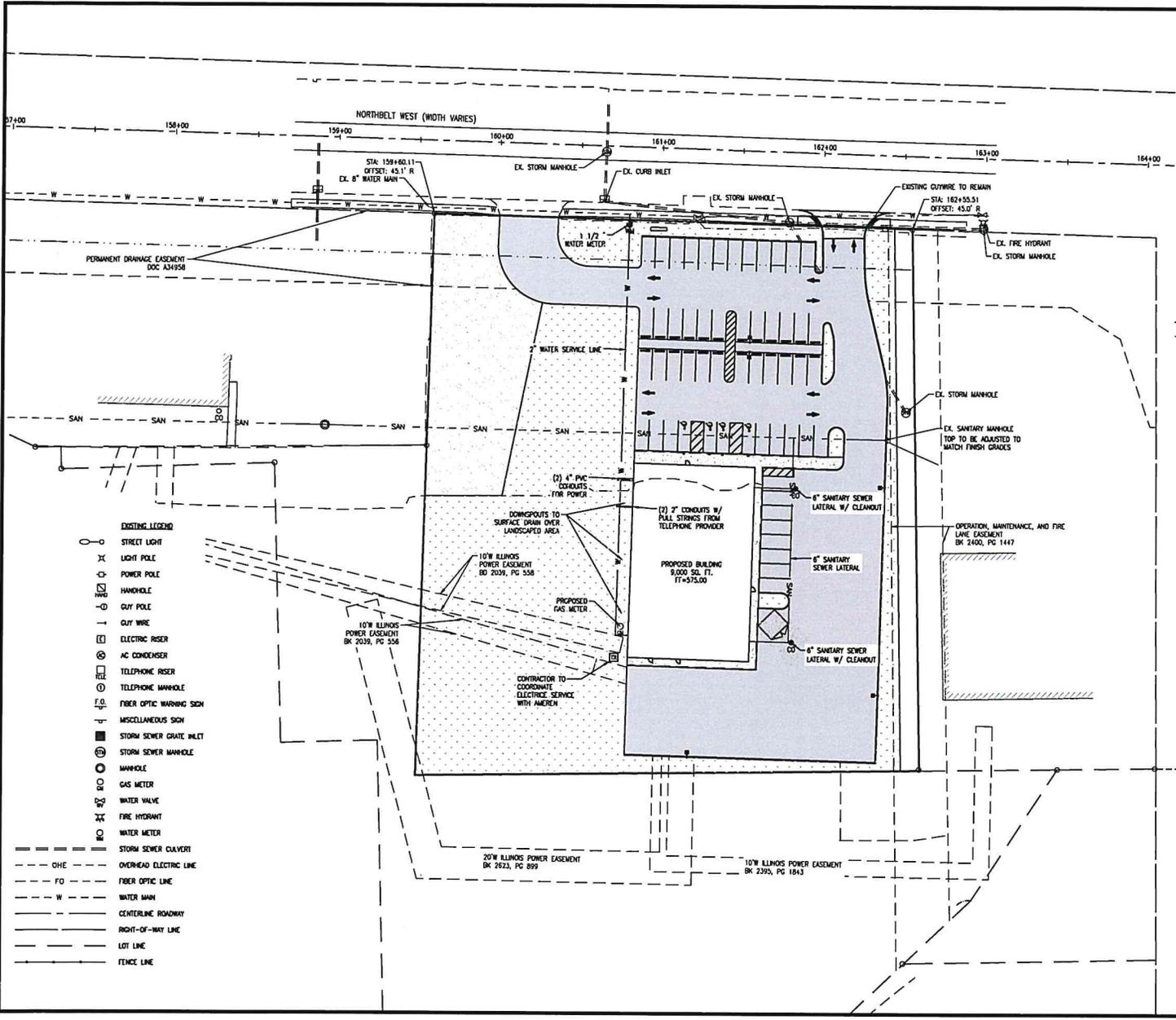
C-3



- PROPOSED LEGEND
- ACCESSIBLE PARKING SIGN (TYP.)
  - CONCRETE SIDEWALK & PAVEMENT
  - PAVEMENT
  - GRASS/LANDSCAPING AREA
  - EXISTING PAVEMENT

- EXISTING LEGEND
- STREET LIGHT
  - LIGHT POLE
  - POWER POLE
  - HANDHOLE
  - GUY POLE
  - GUY WIRE
  - ELECTRIC RISER
  - AC CONDENSER
  - TELEPHONE RISER
  - TELEPHONE MANHOLE
  - FIBER OPTIC WARNING SIGN
  - MISCELLANEOUS SIGN
  - STORM SEWER GRATE INLET
  - STORM SEWER MANHOLE
  - MANHOLE
  - GAS METER
  - WATER VALVE
  - FIRE HYDRANT
  - WATER METER
  - STORM SEWER CULVERT
  - OHE OVERHEAD ELECTRIC LINE
  - FO FIBER OPTIC LINE
  - W WATER MAIN
  - CENTERLINE ROADWAY
  - RIGHT-OF-WAY LINE
  - LOT LINE
  - FENCE LINE

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- EXISTING LEGEND**
- STREET LIGHT
  - ⊕ LIGHT POLE
  - ⊕ POWER POLE
  - ⊕ HANDBOLE
  - ⊕ GUY POLE
  - GUY WIRE
  - ⊕ ELECTRIC RISER
  - ⊕ AC CONDENSER
  - ⊕ TELEPHONE RISER
  - ⊕ TELEPHONE MANHOLE
  - ⊕ FIBER OPTIC WARNING SIGN
  - ⊕ MISCELLANEOUS SIGN
  - ⊕ STORM SEWER GRATE INLET
  - ⊕ STORM SEWER MANHOLE
  - ⊕ MANHOLE
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  - OHE OVERHEAD ELECTRIC LINE
  - FO FIBER OPTIC LINE
  - W WATER MAIN
  - CENTERLINE ROADWAY
  - RIGHT-OF-WAY LINE
  - LOT LINE
  - FENCE LINE

30' 0 30' 60'  
GRAPHIC SCALE

N  
↑

**PROPOSED LEGEND**

- ⊕ SANITARY CLEAN OUT
- ⊕ WATER METER
- 6" WATER LATERAL
- SANITARY LATERAL
- ⊕ LIGHT POST

**TWM**

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SWANSEA, ILLINOIS  
62226  
(618) 624-4488  
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PROF. LICENSE	NUMBER
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IL. PROF. ENGR. CORP.	62-030370
IL. PROF. STR. ENGR. CORP.	61-060202
IL. PROF. LAND SURV. CORP.	048-000029
KS. PROF. ENGR. FACILITY	E-3256
MO. PROF. ENGR. CORP.	001528
MO. LAND SURVEYING CORP.	000346
TN. PROF. ENGR. FIRM	6374

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SIGNATURE: \_\_\_\_\_  
DATE SIGNED: \_\_\_\_\_  
LICENSE EXPIRATION: \_\_\_\_\_

ISSUED FOR: \_\_\_\_\_  
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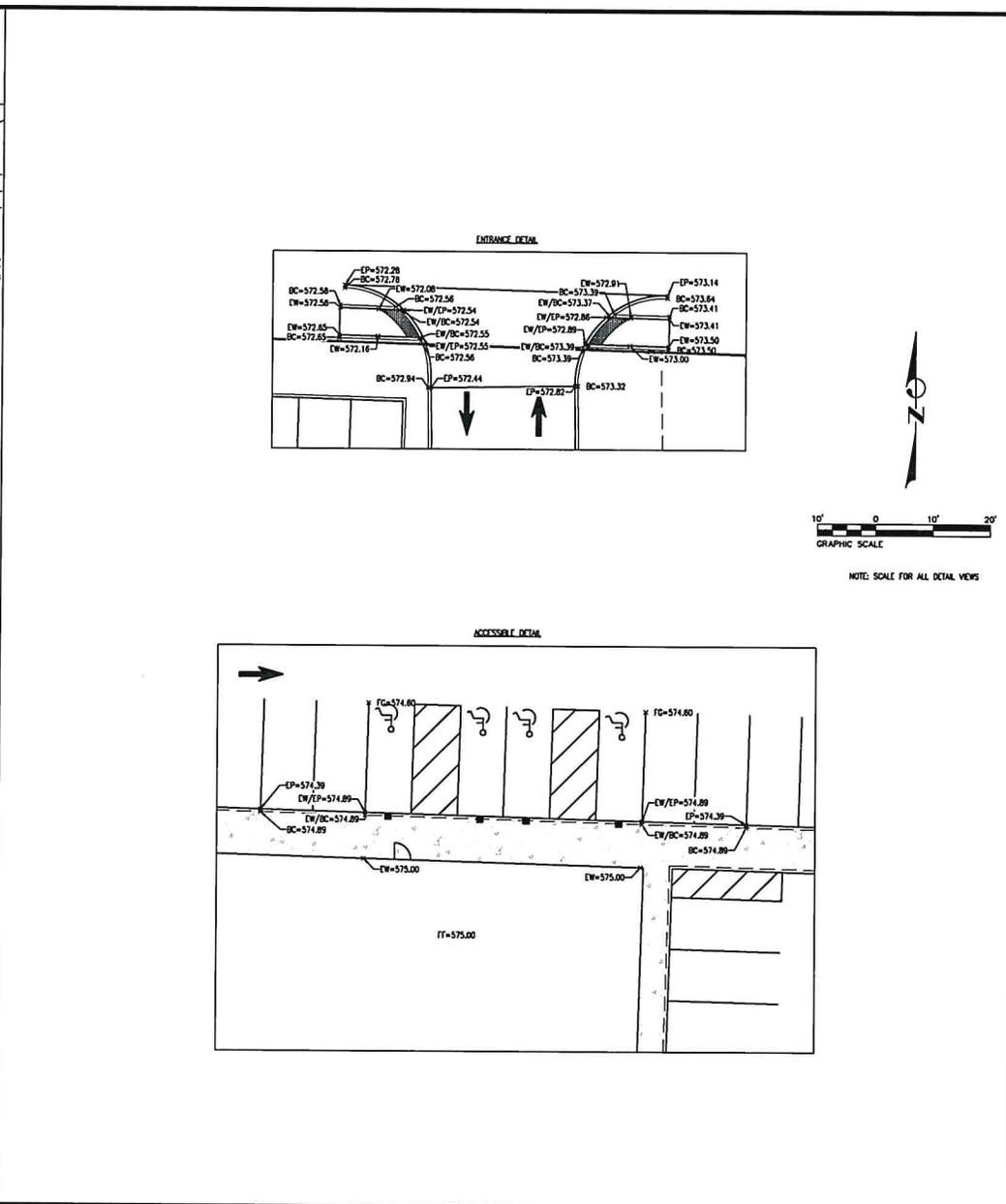
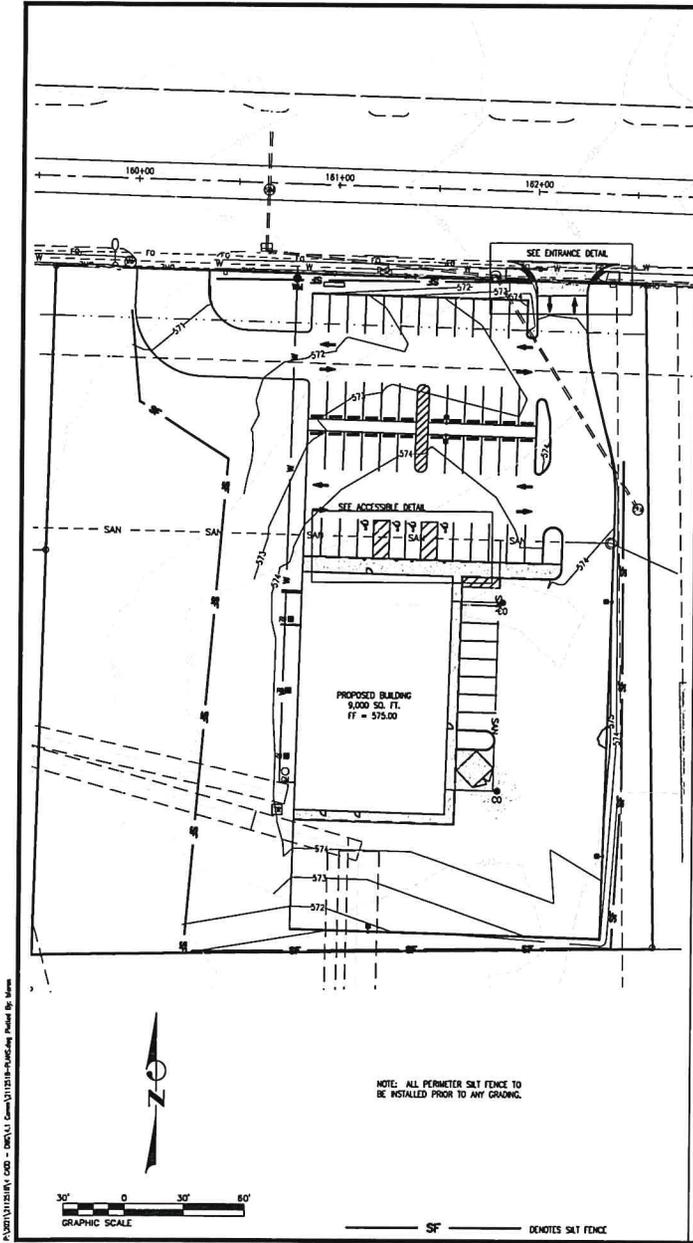
DRAWN BY: LEM  
DESIGNED BY: BYF  
CHECKED BY: MJM  
APPROVED BY: MJM  
PROJECT NO: D01212518

PROJECT:  
PLASMA DONOR CENTER  
CITY OF BELLEVILLE  
ST. CLAIR COUNTY  
ILLINOIS

TITLE:  
UTILITY PLAN

**C-4**

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**THOUVENOT, WADE & MOERCHEN, INC.**

SWANSEA  
 4940 OLD COLLINSVILLE ROAD  
 SWANSEA, ILLINOIS  
 62226  
 (815) 624-4488  
 WWW.TWM-INC.COM

PROF. LICENSE	NUMBER
IL. PROF. DESIGN FIRM	184-091220
IL. PROF. ENGR. CORP.	62-035370
IL. PROF. STR. ENGR. CORP.	81-005202
IL. PROF. LAND SURV. CORP.	048-000208
KS. PROF. ENGR. FACILITY	E-3256
MO. PROF. ENGR. CORP.	001528
MO. LAND SURVEYING CORP.	009396
TN. PROF. ENGR. FIRM	8934

SEAL

SIGNATURE: \_\_\_\_\_  
 DATE SIGNED: \_\_\_\_\_  
 LICENSE EXPIRATION: \_\_\_\_\_

REV.	DATE	DESCRIPTION
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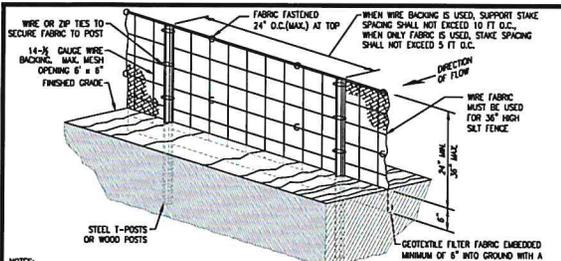
ISSUED FOR: \_\_\_\_\_  
 DATE OF ISSUANCE: \_\_\_\_\_

DRAWN BY: LEM  
 DESIGNED BY: BYF  
 CHECKED BY: M.M.H.  
 APPROVED BY: M.M.H.  
 PROJECT NO: D01211251B

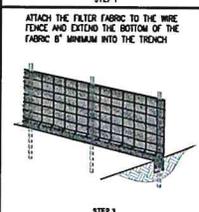
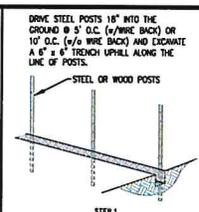
PROJECT:  
 PLASMA DONOR CENTER  
 CITY OF BELLEVILLE  
 ST. CLAIR COUNTY  
 ILLINOIS

TITLE:  
 GRADING AND  
 EROSION CONTROL PLAN

**C-5**



- NOTES:
- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPOPSLOPE GROUND COVER IS REMOVED WHERE POSSIBLE. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE. A ROW OF SILT FENCE SHOULD FOLLOW THE CONTOUR AS CLOSE AS POSSIBLE WITH THE DIPS TURNED UPOPSLOPE TO POND WATER BEHIND THE FENCE.
  - THE SILT FENCE SHOULD BE BURIED AT LEAST 6" DEEP AND HAVE A TOTAL OF 18" OF FABRIC BELOW THE GROUND. THIS CAN BE ACCOMPLISHED WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH.
  - THE STAKES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE GEOTEXTILE FABRIC. THE STAKES SHALL BE A MINIMUM OF 2" X 2" NOMINAL (1-1/2" X 1-1/2" ACTUAL) HARDWOOD STAKE OF SOUND QUALITY. WOOD POSTS SHALL BE A MINIMUM OF 8" IN HEIGHT. WIRE FABRIC SHALL BE FASTENED TO WOOD POST WITH NOT LESS THAN #8 WIRE STAPLES 1-1/2" INCHES LONG. T-POSTS MAY BE SUBSTITUTED IF GROUND CONDITIONS REQUIRE. STEEL POSTS SHALL BE A MINIMUM OF 5' IN HEIGHT AND SHALL BE THE SELF FASTENER ANGLE STEEL TYPE.
  - WHERE TWO SILT FENCE SECTIONS ARE COMBINED INTO ONE RUN, THE END STAKES SHALL BE CONNECTED TOGETHER, NOT SIMPLY OVERLAPPED.
  - WIRE SHALL BE A MINIMUM OF 32 INCHES IN WIDTH AND SHALL BE 6" x 6".
  - FILTER FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH. FABRIC THAT DETERIORATES TO SUCH EXTENT THAT ITS EFFECTIVENESS IS REDUCED SHALL BE REPLACED BY CONTRACTOR AT CONTRACTOR'S EXPENSE.
  - CONTRACTOR SHALL REVIEW SILT FENCE PERIODICALLY AND AFTER EACH RAINFALL OCCURRENCE. ANY NECESSARY REPAIRS OR CLEAN-UP TO MAINTAIN THE EFFECTIVENESS OF THE DEVICE SHOULD BE MADE IMMEDIATELY.
  - IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS AROUND THE DIPS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) AN ADDITIONAL RUN OF SILT FENCE SHALL BE PLACED UPSTREAM, 2) THE LAYOUT OF THE FENCE SHALL BE CHANGED, 3) ACCUMULATED SEDIMENT SHALL BE REMOVED OR 4) OTHER PRACTICES SHOULD BE IMPLEMENTED.
  - TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR ONCE STABILIZATION OR SUFFICIENT GROUND COVER IS ACHIEVED AS DIRECTED BY THE ENGINEER.

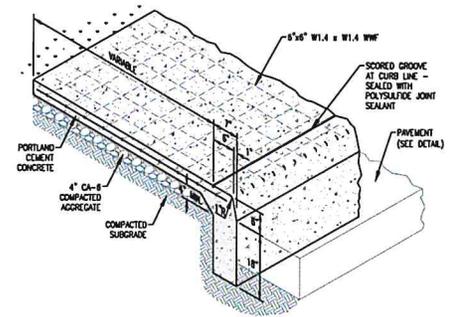
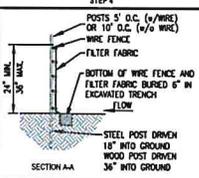
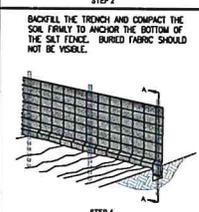
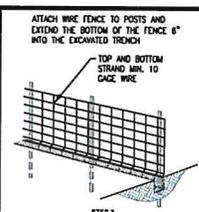


CRITERIA FOR USAGE:

- MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUNOFF TO SILT FENCE SHALL BE AS FOLLOWS:

PER CENT SLOPE SPACING (FT.)	MAX.
25	50
20	75
15	125
10	175
< 10	200

- MAX. DRAINAGE AREA FOR FLOW TO SILT FENCE SHALL NOT EXCEED 0.5 ACRES PER 100 FT. OF FENCE.



PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS. SUBGRADE SHALL BE THOROUGHLY COMPACTED TO 95% OF ASTM D-998 MAXIMUM DENSITY AT THE PROPER LINE AND GRADE PRIOR TO PLACEMENT OF THE CONCRETE.

SUBGRADE SHALL BE MOISTENED JUST BEFORE THE CONCRETE IS TO BE PLACED.

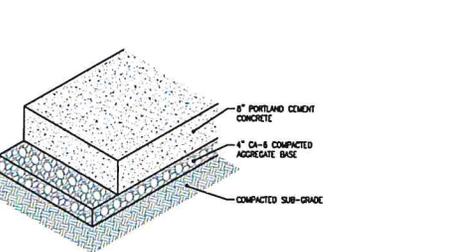
CONTRACTION JOINTS SHALL BE PLACED AT RIGHT ANGLES TO THE CENTERLINE OF THE SIDEWALK AT FIVE (5) FOOT INTERVALS AND SHALL HAVE A DEPTH 1/8" MIN TO 1/4" MAX. THESE JOINTS SHALL BE EDGED WITH AN EDGING TOOL, HAVING A 1/4" RADIUS. SIDEWALKS WIDER THAN 10 FEET AND GREATER SHALL HAVE A CONTRACTION JOINT AT EVERY 5 FOOT INTERVAL.

THE FINAL SURFACE OF THE SIDEWALK SHALL BE BRUSHED WITH A WHITENASH BRUSH AT RIGHT ANGLES TO THE SURFACE, PRODUCING A SLIGHTLY ROUGHENED SURFACE WITH PARALLEL BRUSH MARKS.

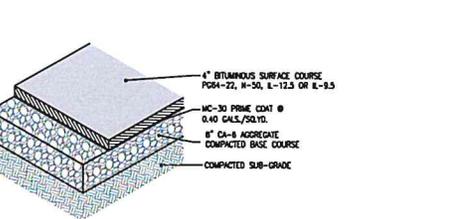
1/2" EXPANSION JOINTS SHALL BE PLACED BETWEEN THE SIDEWALK AND ALL STRUCTURES INCLUDING LIGHT STANDARDS, TRAFFIC LIGHT STANDARDS, POWER POLES, ETC.

3/4" EXPANSION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 100 FEET. IF THE SIDEWALK IS ADJACENT TO PAVEMENT, THESE JOINTS SHALL MATCH THE PAVEMENT JOINTING PATTERN. EXPANSION JOINTS SHOULD ALSO BE PROVIDED BETWEEN DRIVEWAY PAVEMENT AND SIDEWALK, AND BETWEEN ACCESSIBILITY RAMPS AND CURBS.

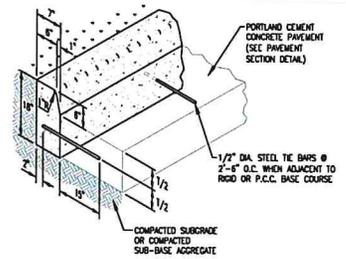
YURNDOWN CURB AND SIDEWALK (REINFORCED)



PORTLAND CEMENT CONCRETE PAVEMENT



BITUMINOUS CONCRETE PAVEMENT STANDARD DUTY



PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS IN ACCORDANCE WITH ASTM C39.

SUBGRADE SHALL BE THOROUGHLY COMPACTED AT THE PROPER LINE AND GRADE TO 95% OF ASTM D998 MAXIMUM DENSITY PRIOR TO PLACEMENT OF THE CONCRETE. SUBGRADE SHALL BE MOISTENED JUST BEFORE THE CONCRETE IS TO BE PLACED.

WHEN SUB-GRADE IS DISTURBED, 6" OF CA-8 AGGREGATE SHALL BE COMPACTED BENEATH THE CURB TO 100% OF ASTM D998 MAXIMUM DENSITY.

CONTRACTION JOINTS IN CONCRETE CURB SHALL BE A CONTINUATION OF THE JOINTS IN THE ADJACENT PORTLAND CEMENT CONCRETE PAVEMENT OR SPACED AT A MAXIMUM DISTANCE OF FIFTEEN (15) FEET. CONTRACTION JOINTS SHALL ALSO BE PROVIDED AT ALL RADIUS POINT LOCATIONS AT INTERSECTIONS, ISLANDS, ETC.

CONTRACTION JOINT SHALL BE CUT TO A DEPTH OF 2" AND TO A MAXIMUM WIDTH OF 1/8".

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CONTRACTION JOINTS SHALL BE SEALED WITH POLYSULFIDE JOINT SEALANT.

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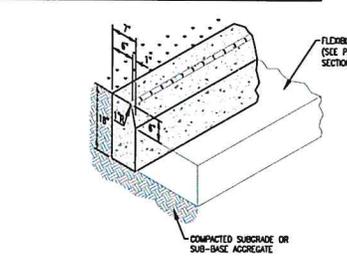
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BARRIER CURB ADJACENT TO P.C.C. PAVEMENT



PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS IN ACCORDANCE WITH ASTM C39.

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CONTRACTION JOINTS SHALL BE SEALED WITH POLYSULFIDE JOINT SEALANT.

BARRIER CURB ADJACENT TO FLEXIBLE PAVEMENT

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SWANSEA  
4940 OLD COLLINSVILLE ROAD  
SWANSEA, ILLINOIS 62228  
(618) 624-4488  
WWW.TWM-INC.COM

PROF. LICENSE NUMBER  
IL PROF. DESIGN FIRM 184-001220  
IL PROF. ENGR. CORP. 62-053370  
IL PROF. STR. ENGR. CORP. 61-000203  
IL PROF. LAND SURV. CORP. 048-000029  
KS. PROF. ENGR. FACILITY E-2154  
MO PROF. ENGR. CORP. 001528  
MO LAND SURVEYING CORP. 002348  
TN. PROF. ENGR. FIRM 8974

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DATE SIGNED:  
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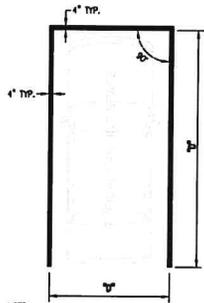
ISSUED FOR  
DATE OF ISSUANCE

REV.	DATE	DESCRIPTION
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DRAWN BY: LEM  
DESIGNED BY: NVP  
CHECKED BY: MJM  
APPROVED BY: MJM  
PROJECT NO: D012112518

PROJECT:  
PLASMA DONOR CENTER  
CITY OF BELLEVILLE  
ST. CLAIR COUNTY  
ILLINOIS

TITLE:  
EROSION CONTROL AND  
PAVEMENT DETAILS



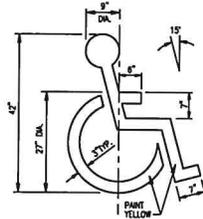
NOTE:  
PAVEMENT MARKING TO BE PAINTED UTILIZING 1-DOT WHITE CHLORINATED RUBBER PAINT NO. W-173-B2 PER 1-DOT STANDARD SPECIFICATIONS APPLIED AT 14-18 mils WET FILM THICKNESS.

ALL SURFACES TO BE PAINTED SHALL BE CLEAN, DRY, AND AIR BLASTED PRIOR TO PAINTING.

**NOTES TO DESIGNER:**

1. VERIFY PARKING SPACE LENGTH / WIDTH AND ADJUST DIMENSION "Y" ACCORDINGLY

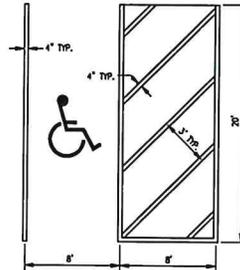
PAVEMENT MARKING



ACCESSIBLE PARKING SYMBOL TO BE PAINTED WITH 1-DOT YELLOW CHLORINATED RUBBER PAINT NO. W-173-B2 PER 1-DOT STANDARD SPECIFICATIONS.

PAINTED ACCESSIBLE SYMBOL TO BE PLACED IN LOCATIONS AS DETAILD ON THE SITE PLAN.

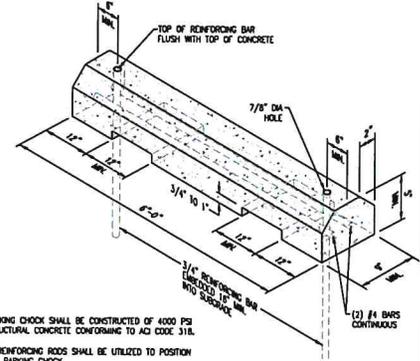
ACCESSIBLE PARKING SYMBOL



ACCESSIBLE PARKING SPACE PAVEMENT MARKING TO BE PAINTED UTILIZING 1-DOT YELLOW CHLORINATED RUBBER PAINT NO. W-173-B2 PER 1-DOT STANDARD SPECIFICATIONS.

ALL SURFACES TO BE PAINTED SHALL BE CLEAN AND AIR BLASTED PRIOR TO BEING PAINTED.

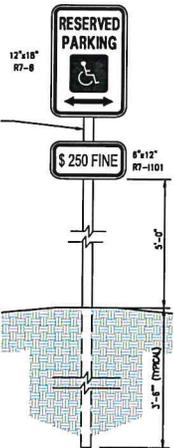
ACCESSIBLE PARKING SPACE PAVEMENT MARKING



PARKING CHOCK SHALL BE CONSTRUCTED OF 4000 PSI STRUCTURAL CONCRETE CONFORMING TO AC CODE 318.

2" REINFORCING RODS SHALL BE UTILIZED TO POSITION THE PARKING CHOCK.

PRE-CAST PARKING BUMPER BLOCK (AUTOMOBILE)



2" # STEEL TUBE EXTENDED INTO CONCRETE FILLED STEEL PIPE. PRIME AND COAT TWO (2) COATS YELLOW PAINT (TYPICAL)

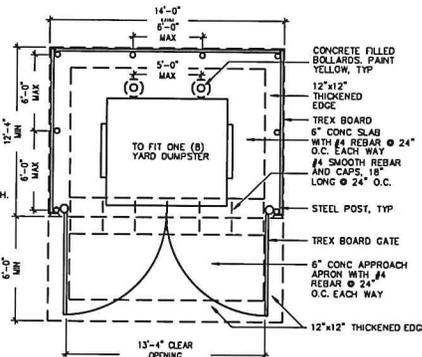
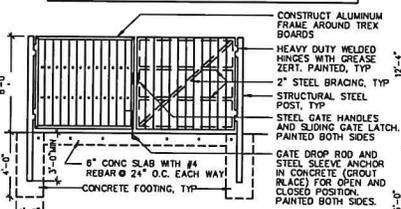


**NOTE:**

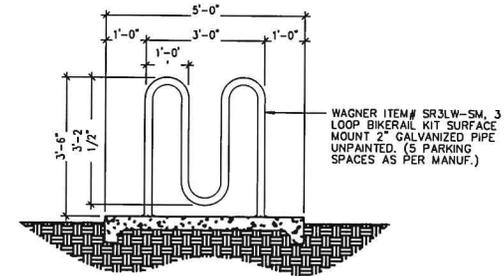
1. ACCESSIBLE SIGNS AND POSTS TO CONFORM WITH U.S. DEPARTMENT OF TRANSPORTATION MANUAL ON LANE USE, TRAFFIC CONTROL DEVICES, AND THE AMERICANS WITH DISABILITIES ACT.

ACCESSIBLE RESERVED PARKING SIGN AND POST (NO BOLLARD)

PROVIDE 1 SET OF GATES AT DUMPSTER ENCLOSURE:  
• ALL STEEL FRAMING  
• TREX COMPOSITE BOARDS (VERIFY COLOR WITH ARCHITECT)  
• ALUMINUM TRIM AT PERIMETER OF TREX BOARDS  
• ALL STAINLESS STEEL FASTENERS ON TREX BOARDS



DUMPSTER ENCLOSURE



BICYCLE RACK



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**THOUVENOT, WADE  
& MOERCHEN, INC.**

SWANSEA  
4940 OLD COLLINSVILLE ROAD  
SWANSEA, ILLINOIS  
62228  
(818) 624-4488  
WWW.TWM-HINC.COM

PROF. LICENSE NUMBER  
IL PROF. DESIGN FIRM 184-001220  
IL PROF. ENGR. CORP. 63-025370  
IL PROF. STR. ENGR. CORP. 61-000202  
IL PROF. LAND SURV. CORP. 04-000029  
KS. PROF. ENGR. FACILITY 6-3254  
MO. PROF. ENGR. CORP. 001529  
MO. LAND SURVEYING CORP. 000146  
TN. PROF. ENGR. FIRM 8274

SEAL

SIGNATURE:  
DATE SIGNED:  
LICENSE EXPIRATION:

ISSUED FOR  
DATE OF ISSUANCE

REV.	DATE	DESCRIPTION
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DRAWN BY: LEM  
DESIGNED BY: NTF  
CHECKED BY: NLM  
APPROVED BY: NLM  
PROJECT NO: D0121251B

PROJECT:

PLASMA DONOR CENTER  
CITY OF BELLEVILLE  
ST. CLAIR COUNTY  
ILLINOIS

TITLE:

ACCESSIBILITY DETAILS



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62226  
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WWW.TWM-INC.COM

PROF. LICENSE	NUMBER
IL. PROF. DESIGN FIRM	184-001200
IL. PROF. ENGR. CORP.	62-033370
IL. PROF. STR. ENGR. CORP.	81-000202
IL. PROF. LAND SURV. CORP.	948-000029
KS. PROF. ENGR. FACILITY	6-3254
MO. PROF. ENGR. CORP.	001528
MO. LAND SURVEYING CORP.	000346
TN. PROF. ENGR. FIRM	8874

SIGNATURE: \_\_\_\_\_  
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LICENSE EXPIRATION: \_\_\_\_\_

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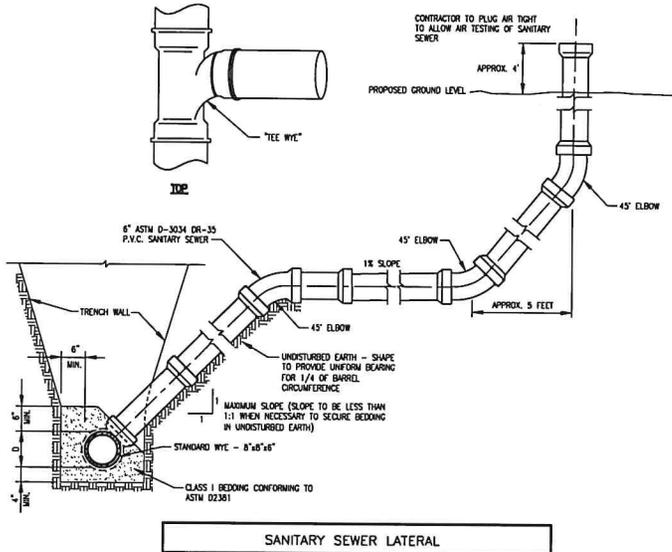
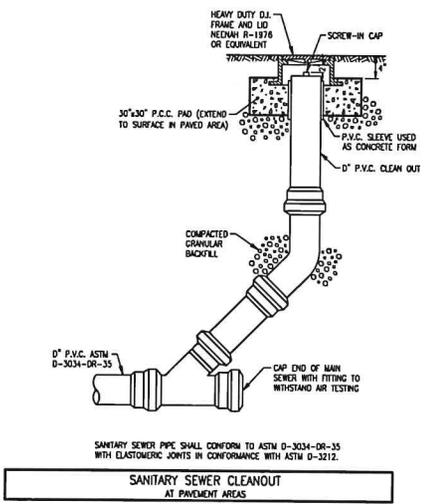
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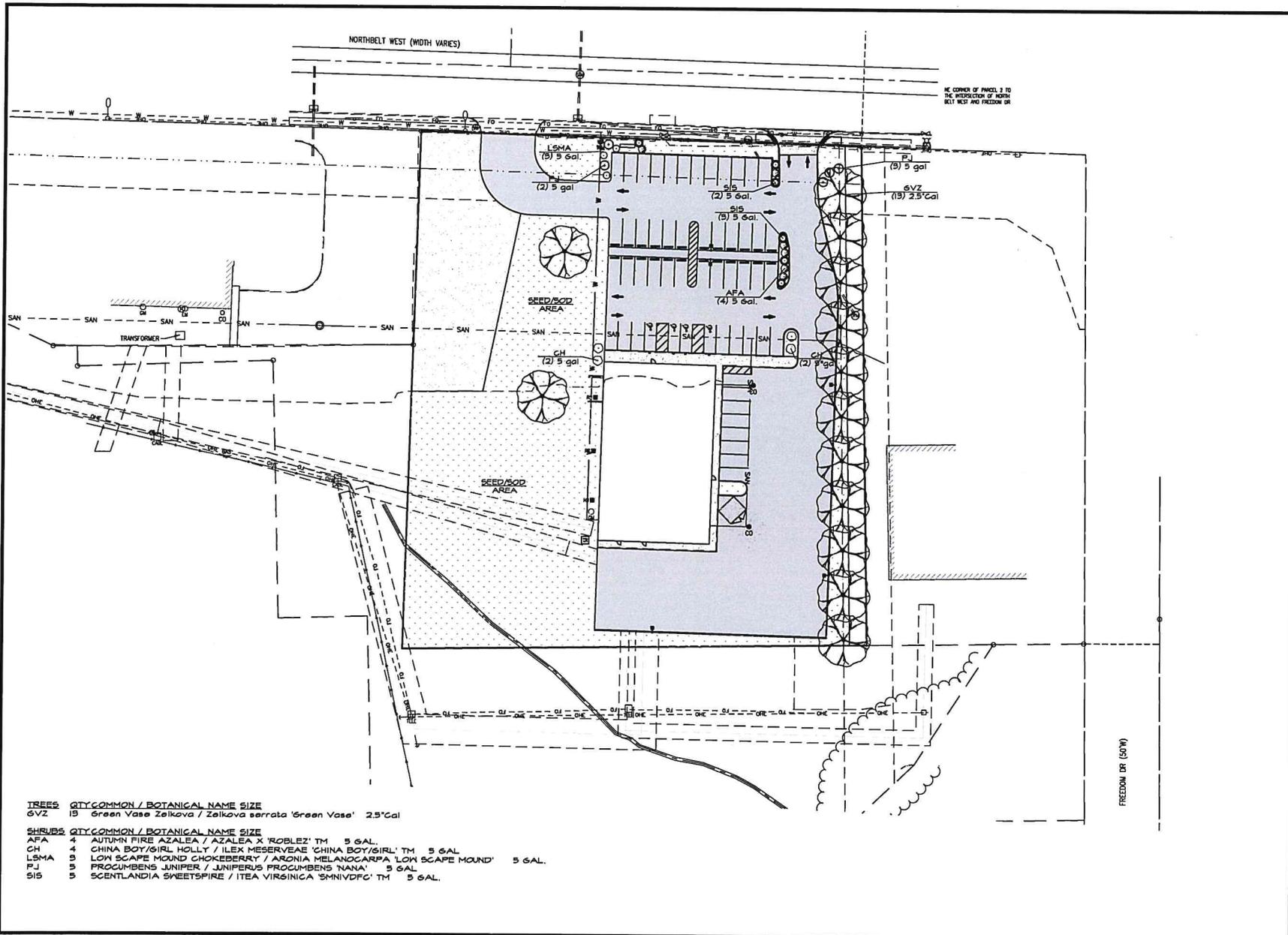
DRAWN BY:	LEM
DESIGNED BY:	BYF
CHECKED BY:	MJM
APPROVED BY:	MJM
PROJECT NO:	D01211251B

PROJECT:  
PLASMA DONOR CENTER  
CITY OF BELLEVILLE  
ST. CLAIR COUNTY  
ILLINOIS

TITLE:  
UTILITY DETAILS

**C-8**





**TREES** QTY COMMON / BOTANICAL NAME SIZE  
 SVZ 15 Green Vase Zelkova / Zelkova serrata 'Green Vase' 2.5' Gal

**SHRUBS** QTY COMMON / BOTANICAL NAME SIZE  
 AFA 4 AUTUMN FIRE AZALEA / AZALEA X 'ROBLEZ' TM 5 GAL  
 CH 4 CHINA BOY/GIRL HOLLY / ILEX MESERVEAE 'CHINA BOY/GIRL' TM 5 GAL  
 LSMA 3 LOW SCAPE MOUND CHOKEBERRY / ARONIA MELANOCARPA 'LOW SCAPE MOUND' 5 GAL  
 FJ 5 PROCUMBENS JUNIPER / JUNIPERUS PROCUMBENS 'NANA' 5 GAL  
 SIS 5 SCENTLANDIA SWEETSPIRE / ITEA VIRGINICA 'SMNVDPC' TM 5 GAL



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**THOUVENOT, WADE  
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 SWANSEA, ILLINOIS  
 62228  
 (618) 624-4488  
 WWW.TWM-INC.COM

PROF. LICENSE	NUMBER
IL. PROF. DESIGN FIRM	184-001200
IL. PROF. ENGR. CORP.	62-035370
IL. PROF. STR. ENGR. CORP.	61-002052
IL. PROF. LAND SURV. CORP.	618-000209
KS. PROF. ENGR. FACILITY	E-3256
MO. PROF. ENGR. CORP.	001528
MO. LAND SURVEYING CORP.	000346
TX. PROF. ENGR. FIRM	8974

SEAL  
  
 SIGNATURE:  
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DRAWN BY: LEM  
 DESIGNED BY: BYF  
 CHECKED BY: MJM  
 APPROVED BY: MJM  
 PROJECT NO: D01211251B

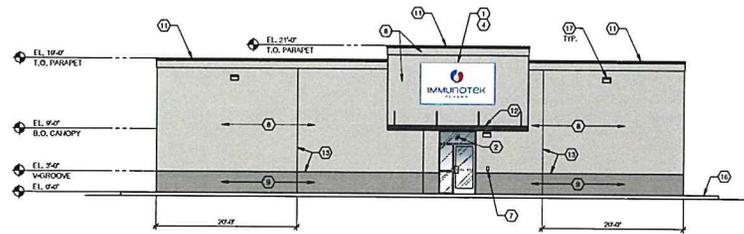
PROJECT:  
 PLASMA DONOR CENTER  
 CITY OF BELLEVILLE  
 ST. CLAIR COUNTY  
 ILLINOIS

TITLE:  
 LANDSCAPE DETAILS

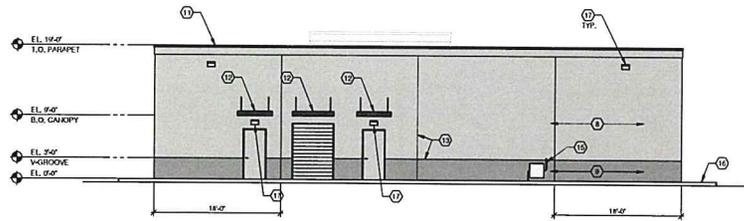
L-1

PLANNING CONSULTANTS, INC. - 1001 S. COLLINSVILLE ROAD, PEORIA, ILLINOIS 61614

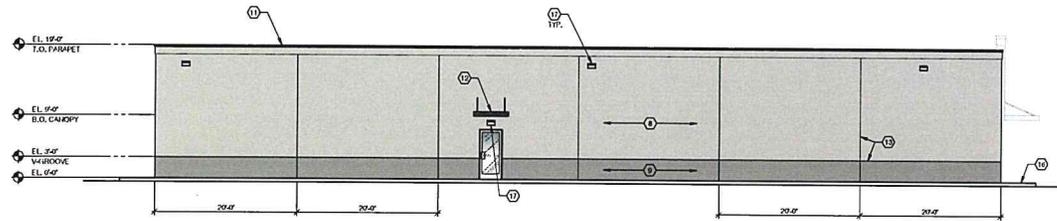




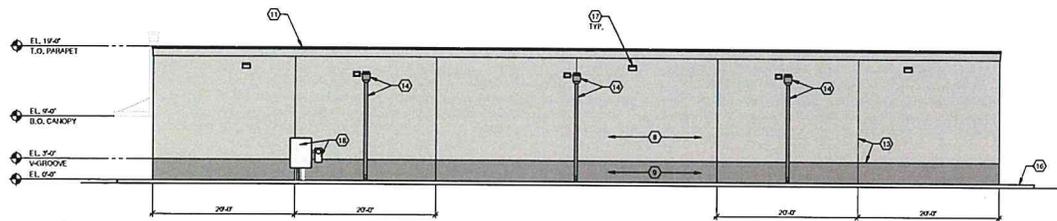
**1 FRONT ELEVATION**  
R1.1 1/8" = 1'-0"



**2 REAR ELEVATION**  
R1.1 1/8" = 1'-0"



**3 LEFT ELEVATION**  
R1.1 1/8" = 1'-0"



**4 RIGHT ELEVATION**  
R1.1 1/8" = 1'-0"

**EXTERIOR ELEVATION KEYNOTES**

- 1 SIGNAGE UNDER SEPARATE PERMIT, TO BE PROVIDED AND INSTALLED BY OWNER. CONTRACTOR TO PROVIDE REQUIRED BLOCKING AND ELECTRICAL AT SIGNAGE. VERIFY FINAL SIGNAGE LOCATION, ELECTRICAL REQUIREMENTS AND INSTALLATION SCHEDULE. THE SIGN CONTRACTOR SHALL SEAL ALL PENETRATIONS REQUIRED FOR THE INSTALLATION OF THE FACADE SIGNAGE.
- 2 GC SHALL PROVIDE SIGNAGE NUMBER/ADDRESS SHALL BE 10" VINYL NUMBERS, SUBMIT FOR APPROVAL TO OWNER AND FIRE MARSHAL.
- 3 STOREFRONT WINDOW SYSTEM TO REMAIN.
- 4 ACCESS BEHIND THE WALL IS REQUIRED FOR INSTALLATION OF THE SIGNAGE AND REQUIRED ELECTRICAL. CONTRACTOR TO COORDINATE WITH OWNER AND LEASAGE COMPANY.
- 5 STOREFRONT DOORS & HARDWARE.
- 6 DOOR, PART AND SEAL. SEE DOOR SCHEDULE SHEET.
- 7 RACK BOX - CONTRACTOR TO PROVIDE AND INSTALL RACK BOX AND SHALL VERIFY MOUNTING HEIGHT AND LOCATION WITH LOCAL FIRE CODE.
- 8 E.J.F.S. PART SW7017 DORNAV GRAY.
- 9 E.J.F.S. PART SW7019 GAUNTLET GRAY.
- 10 NOT USED
- 11 PRE-FINISHED METAL COPING THROUGHOUT THE COMPLETE ROOF SYSTEM. COLOR AS SELECTED BY OWNER FROM MANUFACTURERS STANDARD COLORS.
- 12 METAL CANOPY SYSTEM OVER DOORS. REFER TO FLOOR PLAN A1.1 FOR DETAILS / SIZES.
- 13 X E.J.F.S. V-GROOVE.
- 14 PAINT DOWNSPOUTS AND DOWNSPOUTS BOXES. PART SW7019 GAUNTLET GRAY.
- 15 ALL NEW GAS PIPING SHALL BE PAINTED YELLOW.
- 16 SIDEWALK REFER TO CIVIL PLANS.
- 17 LIGHT, SEE ELECTRICAL PLANS.
- 18 SEE ELECTRICAL PLANS. PAINT TO MATCH BUILDING.

**E.I.F.S. SPEC**

E.J.F.S. SYSTEM;  
SERIES 70  
SEMI-FLEX CHANNELLED E.J.F.S. SYSTEM  
FINISH: CANADA  
PAINT COLOR PER EXTERIOR ELEVATIONS  
INSTALL PER MANUFACTURERS DETAILS & RECOMMENDATIONS.

**PAINT SPEC**

- E.J.F.S. PART SW7017 DORNAV GRAY.
- E.J.F.S. PART SW7019 GAUNTLET GRAY.

**IMMUNOTEK**  
FOR LEASERS

5750 JOHANSTON ST, SUITE 302  
LAFAYETTE, LA 70503  
337.500.1251 WWW.IMMUNOTEK.COM

**PLASMA DONOR  
CENTER FOR:**  
IMMUNOTEK BIOCENTERS, LLC  
5510 NORTH BELT WEST  
BELLEVILLE, IL 62226

REVISIONS	DATE

**LONNIE SMITH**  
ARCHITECT

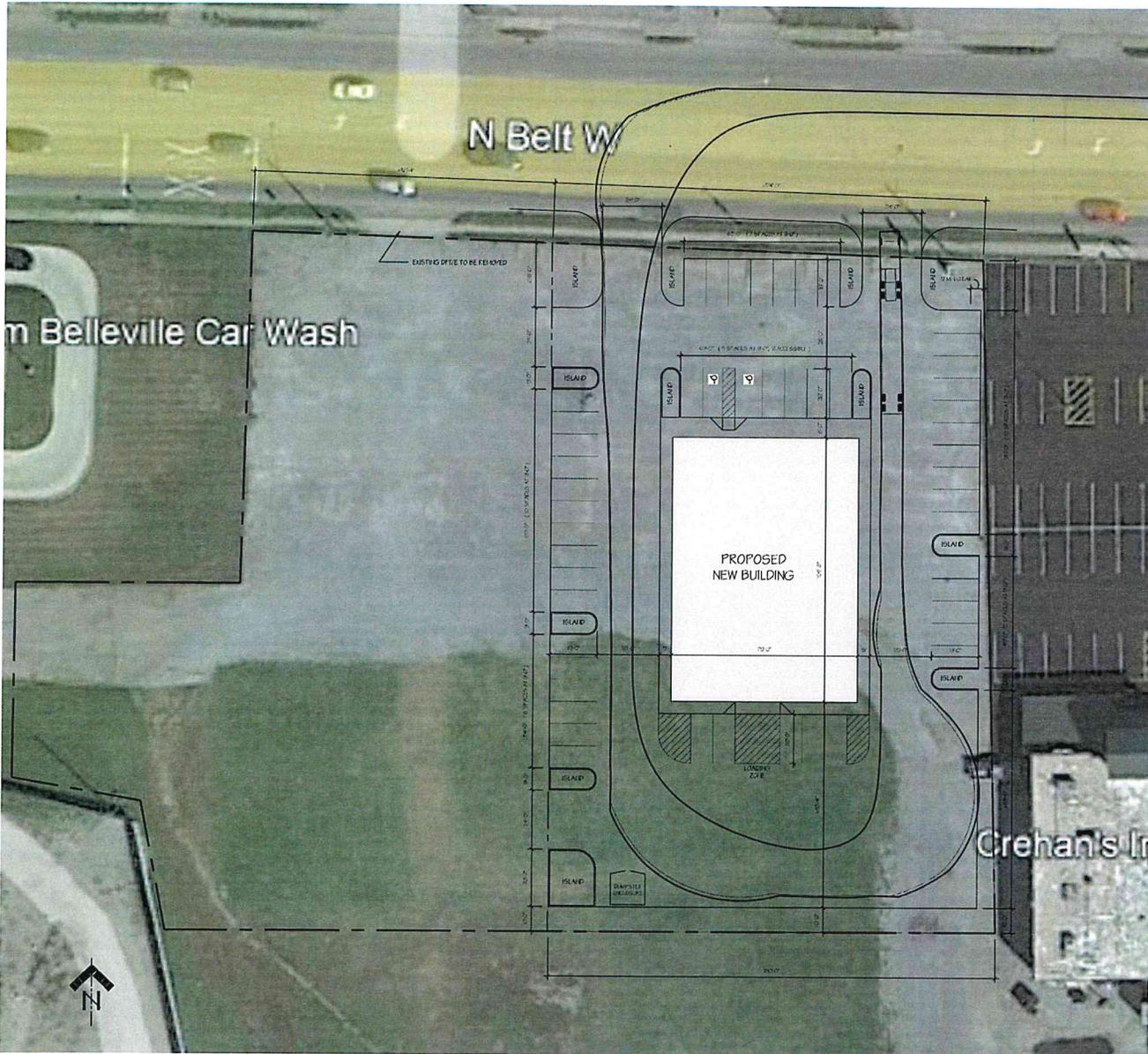
PHONE: 601.824.1753  
FAX: 601.824.1752  
7122 E. GARDNER ROAD, SUITE 11  
MEMPHIS, TN 38125

STATE OF MISSISSIPPI  
LONNIE SMITH  
0011917007  
LICENSED ARCHITECT  
10-24-22  
EXPIRATION 11/30/24

SHEET NAME:  
**COLOR  
RENDERINGS**

DRAWN BY: VCS  
DATE: 09-16-22  
PROJECT #: 22215  
SHEET #:

R1.1



**SITE DEVELOPMENT:**

SITE INFORMATION:

2.5 ACRE SITE AVAILABLE  
11 ACRES DEVELOPED

MINIMUM PARKING REQUIREMENTS:

1 ST SPACE PER 300 SF OF FLOOR SPACE  
8,000 / 300 = 27 REQUIRED (50 PROVIDED)  
2 ACCESSIBLE REQUIRED (2 PROVIDED)

24'-0" MINIMUM DRIVE WIDTH  
25'-0" MINIMUM DRIVE ASLE FOR 2-WAY TRAFFIC  
35'-0" MINIMUM EASEMENT ON FRONT OF PROPERTY

LANDSCAPING:

5% MINIMUM OF DEVELOPED AREA (10% PROVIDED)

<http://addresslookup.com/codes/belleville/landscaping/>  
belleville\_IL/0-0-0-12097

Revisions	Date	By
A		

**IMMUNOTEK**  
LABORATORIES

5700 Johnson St., Suite 302 | Belleville, IL 62209  
618-336-8811 | [immunotek.com](http://immunotek.com)

**INTERIOR TENANT IMPROVEMENT FOR:**  
BELLEVILLE, IL  
5700 N. BELT WEST

Sheet name  
SITE DEVELOPMENT PLAN



Project Designer: ECH  
Date: 1-10-22  
Project Number: 060000  
Sheet No:  
**A1.0**  
Sheet of

1 SITE DEVELOPMENT PLAN  
1"=20' 0"



IMMUNOTEK  
BIO CENTERS

## RITE-AID RENOVATION





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BIO CENTERS

## TYPICAL EXTERIOR SIGNAGE





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BIO CENTERS

## Ground-Up Build





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BIO CENTERS

## Ground-Up Build





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BIO CENTERS

## TYPICAL PYLON SIGNAGE





**CITY OF BELLEVILLE**  
**ECONOMIC DEVELOPMENT, PLANNING AND ZONING DEPARTMENT**

**APPLICATION FOR SITE PLAN**

Subject Property Address: 5510 North Belt West

Applicant/Developer Name: ImmunoTek Bio Centers

Mailing Address: 5750 Johnston Street, Suite 302

City: Lafayette State: LA Zip: 70503

Telephone: 337.500.1294 Email: ncd@immunotek.com

Property Owner Name: 5700 North Belt West LLC

Mailing Address: 4 Star Point, Suite 204 c/o Jadian Capital

City: Stamford State: CT Zip: 06902

Telephone: 212-259-0565 Email: nberk@ccpropco.com

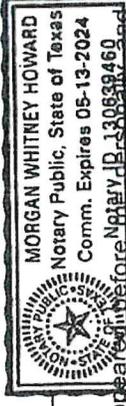
I certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate. I consent to the entry in or upon the premises described in this application by any authorized official of the City of Belleville for the purpose of inspecting, or of posting, maintaining and removing such notices as may be required by law.

(Printed Applicant Name) Tom Pennison has appeared before me personally and certified that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate.

Signature of Applicant: [Signature] Date: 10/6/22

Subscribed and Sworn to before this 10 day of October A.D., 20 22  
(day) (month) (year)

Notary Public: [Signature]



(Printed Owner) Doug Sanders has appeared before me personally and certified that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate.

Signature of Owner: [Signature] Date: 10/10/2020

Subscribed and Sworn to before this 10 day of October A.D., 20 22 (year)



Notary Public: [Signature]

**Site Information:**

Legal Description: Lots/Section(s): 08-18.0-100-031 Block(s): \_\_\_\_\_

Subdivision: Schmisseurs A.P.

Project Name: Plasma Donor Center

Current Zoning: C-2 Heavy Commercial

Current Use: Parking

Proposed Use of Building: Medical office building

Square Footage of Existing Building: 34,500 sq. ft.

Square Footage of Proposed Building: 9,000 sq. ft.

**Submittal Process:**

- Completed Application submitted to Economic Development, Planning, and Zoning Department by noon on the last Friday of Month A.
- Staff meets first Thursday of Month B to discuss and review plans, returns comments.
- Staff meets with Applicant second Thursday of Month B to review revisions or answer questions regarding comments.
- Pending staff has signed off on all revisions, staff prepares materials for public meetings.
- Site Plan goes before Zoning Board of Appeals on fourth Thursday of Month B for a recommendation.
- Site Plan goes before Planning Commission on first Wednesday of Month C for a recommendation.
- Site Plan goes before next available City Council Meeting, either first or third Monday of Month C for final decision.
- If approved, submit copies of final Site Plan to Economic Development, Planning, and Zoning for recording with St. Clair County
- Submit building and construction plans to Health, Housing, and Building for review.
- Pre-Construction meeting, highly recommended
- Development Agreement executed, if applicable
- Building Permit Issued
- Final Acceptance is issued
- Commercial Occupancy Permit(s), Business License(s), and Sign Permit(s) applied for & issued

Economic Development, Planning, and Zoning Department  
Belleville, Illinois 62220  
Phone: 618-233-6810 x 1250 • Fax: 618-355-4260 • Email: EDPZ@belleville.net

Parties of Interest

Please provide contact information for all parties involved in project.

Principal Contact: Jay Williams Title: Chief Development Officer  
Business Name: ImmunoTek Bio Centers (Developer)  
Street Address: 1430 E Southlake Blvd, Ste 200  
City: Southlake State: TX Zip: 76092  
Telephone: (813) 505-8338  
Email: jwilliams@immunotek.com

Engineer: Marsha Maller, P.E.  
Business Name: Thouvenot, Wade, & Moerchen, Inc.  
Street Address: 4940 Old Collinsville Road  
City: Swansea State: IL Zip: 62226  
Telephone: (618) 624-4488  
Email: mmaller@twm-inc.com

Architect: Lonnie Smith  
Business Name: LS Design Group PLLC  
Street Address: 2130 Lexington Road, Suite H  
City: Richmond State: KY Zip: 40475  
Telephone: (859) 624-3755  
Email: lonnie@lsdesigngroup.biz

Other: Chuck Sowers  
Business Name: LS Design Group PLLC  
Street Address: 2130 Lexington Road, Suite H  
City: Richmond State: KY Zip: 40475  
Telephone: (859) 624-3755  
Email: admin@lsdesigngroup.biz

Other: \_\_\_\_\_  
Business Name: \_\_\_\_\_  
Street Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email: \_\_\_\_\_

(Attach additional sheets as necessary.)

Owner Board of Directors of Belleville Public Library  
 Address 121 E. Washington  
 Belleville, IL 62220  
 Route FAP 600 (IL 159)  
 County St. Clair  
 Job No. R-98-026-21  
 Parcel No. 8126002  
 P.I.N. No. 08-21.0-449-015  
 Section 26, 45RS-3  
 Project No.  
 Station 135+47.00 Lt to 1335+72.00 Lt (FEE)  
 Station 135+47.00 Lt to 1335+72.02 Lt (TCE)  
 Contract No.  
 Catalog No.

**CERTIFIED RESOLUTION**  
**(Governmental Entity)**

I, Patricia Grayson, as Mayor of Belleville Public Library, a governmental entity organized and existing under the laws of the State of Illinois, including without limitation, city, village, incorporated town, county, park district, or township, do hereby certify that:

1. The following is a true and correct copy of a resolution adopted by the Council or Board of said governmental entity, a quorum of its members, trustees, or commissioners being present at a meeting held of the 21st day of November, 2022, and

2. The resolution has not been amended or revoked and is in full force and effect.

Resolved that \_\_\_\_\_, the \_\_\_\_\_ and \_\_\_\_\_, the \_\_\_\_\_ of the Board of the above-referenced governmental entity are hereby authorized and directed to convey the governmental entity's interest in the following described real estate in St. Clair County, Illinois to the People of the State of Illinois, Department of Transportation for highway purposes for the sum of \$600.00:

8126002 – FEE

Part of Lot 3 of "Original Town of Belleville"; reference being had to the plat thereof recorded in Recorder's Office of St. Clair County, Illinois, in Book of Plats "E" on Page 9; described as follows:

Beginning at the northeast corner of said Lot 3; thence on an assumed bearing of South 00 degrees 21 minutes 52 seconds West on the east line of said Lot 3, a distance of 25.00 feet; thence North 89 degrees 38 minutes 08 seconds West, 2.00 feet to a line that is 2.00 feet west of and parallel to the east line of said Lot 3; thence North 00 degrees 21 minutes 52 seconds East on said parallel line, 23.02 feet to a line that is 2.00 feet south of and parallel to the north line of said Lot 3; thence North 89 degrees 07 minutes 06 seconds West on said parallel line, 15.52 feet; thence North 00 degrees 52 minutes 54 seconds East, 2.00 feet to the north

line of said Lot 3; thence South 89 degrees 07 minutes 06 seconds East on said north line, 17.50 feet to the Point of Beginning.

Said Parcel 8126002 contains 81 square feet, or 0.0019 acres, more or less.

8126002 – Temporary Construction Easement

Part of Lot 3 of "Original Town of Belleville"; reference being had to the plat thereof recorded in Recorder's Office of St. Clair County, Illinois, in Book of Plats "E" on Page 9; described as follows:

Commencing at the northeast corner of said Lot 3; thence on an assumed bearing of South 00 degrees 21 minutes 52 seconds West on the east line of said Lot 3, a distance of 25.00 feet; thence North 89 degrees 38 minutes 08 seconds West, 2.00 feet to the Point of Beginning.

From said Point of Beginning; thence continuing North 89 degrees 38 minutes 08 seconds West, 2.50 feet to a line that is 4.50 feet west of and parallel to the east line of said Lot 3; thence North 00 degrees 21 minutes 52 seconds East on said parallel line, 21.04 feet to a line that is 4.00 feet south of and parallel of the north line of said Lot 3; thence North 89 degrees 07 minutes 06 seconds West on said parallel line, 13.04 feet; thence North 00 degrees 52 minutes 54 seconds East, 2.00 feet; thence South 89 degrees 07 minutes 06 seconds East, 15.52 feet; thence South 00 degrees 21 minutes 52 seconds West, 23.02 feet to the Point of Beginning.

Said Parcel 8126002TE contains 84 square feet, or 0.019 acres, more or less.

Further resolved that they are authorized and directed to execute and deliver such instruments as may be necessary or convenient to consummate such sale.

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**ORDINANCE NO. 9098-2022**

**AN ORDINANCE AMENDING ARTICLE VII (TRAFFIC CODE),  
CHAPTER 76 (PARKING SCHEDULES) OF THE REVISED  
ORDINANCES OF THE CITY OF BELLEVILLE, ILLINOIS AS  
AMENDED, BY AMENDING PORTIONS OF SECTIONS THEREOF**

THE CITY OF BELLEVILLE, ST. CLAIR COUNTY, ILLINOIS (THE "CITY"), IS A DULY ORGANIZED AND EXISTING MUNICIPALITY CREATED UNDER THE PROVISIONS OF THE LAWS OF THE STATE OF ILLINOIS.

THE CITY OF BELLEVILLE IS NOW OPERATING UNDER THE PROVISIONS OF THE ILLINOIS MUNICIPAL CODE, AS SUPPLEMENTED AND AMENDED AND AS A HOME RULE MUNICIPALITY PURSUANT TO ARTICLE VII OF THE ILLINOIS CONSTITUTION OF 1970; AND IN THE EXERCISE OF ITS HOME RULE POWERS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BELLEVILLE, ILLINOIS:

**Section 1.** That Chapter 76 (Parking Schedules), Schedule I (No Parking Areas), Section (1) (No Parking at Any Time) is hereby amended by adding the following parking restriction thereunder:

<u>Street (Side)</u>	<u>Location</u>
Abraham Court	East of Abraham Ct. for 70 Feet on the South Side of Gettysburg

**Section 2.** That conflicting Ordinances or pertinent portions thereof in force the time this takes effect are hereby repealed.

**Section 3.** Any person violating this Ordinance shall be subject to the penalties of Article VII (Traffic Code), Chapter 70 (General Provisions), Section 70.999 (Penalty).

**Section 4.** This Ordinance shall be in full force and effect from and after its passage, approval and publication, in pamphlet, all as provided by law.

**PASSED** by the City Council of the City of Belleville, Illinois, on this 21<sup>st</sup> day of November, 2022 on the following roll call vote:

	<u>AYE</u>	<u>NAY</u>
Joe Hazel	_____	_____
Bryan Whitaker	_____	_____
Carmen Duco	_____	_____

Jamie Eros	_____	_____
Kent Randle	_____	_____
Scott Ferguson	_____	_____
Johnnie Anthony	_____	_____
Raffi Ovian	_____	_____
Ed Dintelman	_____	_____
Shelly Schaefer	_____	_____
Dr. Mary Stiehl	_____	_____
Chris Rothweiler	_____	_____
Phil Elmore	_____	_____
Dennis Weygandt	_____	_____
Roger Wigginton	_____	_____
Nora Sullivan	_____	_____
Kara Osthoff	_____	_____

APPROVED by the Mayor of the City of Belleville, Illinois this 22<sup>nd</sup> day of November, 2022.

\_\_\_\_\_  
PATTY GREGORY, MAYOR

ATTEST:

\_\_\_\_\_  
JENNIFER GAIN MEYER, CITY CLERK

**ORDINANCE NO. 9099-2022**

**AN ORDINANCE AMENDING ARTICLE VII (TRAFFIC CODE),  
CHAPTER 75 (TRAFFIC SCHEDULES) OF THE REVISED  
ORDINANCES OF THE CITY OF BELLEVILLE, ILLINOIS AS  
AMENDED, BY AMENDING PORTIONS OF SECTIONS THEREOF**

THE CITY OF BELLEVILLE, ST. CLAIR COUNTY, ILLINOIS (THE "CITY"), IS A DULY ORGANIZED AND EXISTING MUNICIPALITY CREATED UNDER THE PROVISIONS OF THE LAWS OF THE STATE OF ILLINOIS.

THE CITY OF BELLEVILLE IS NOW OPERATING UNDER THE PROVISIONS OF THE ILLINOIS MUNICIPAL CODE, AS SUPPLEMENTED AND AMENDED AND AS A HOME RULE MUNICIPALITY PURSUANT TO ARTICLE VII OF THE ILLINOIS CONSTITUTION OF 1970; AND IN THE EXERCISE OF ITS HOME RULE POWERS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BELLEVILLE, ILLINOIS:

**Section 1.** That Chapter 75 (Traffic Schedules), Schedule II (Stop and Yield Intersections), Section (C)(2) (Three-Way Stop Intersections) is hereby amended by creating a three-way stop intersection with stop signs at the following location:

Intersection Location

Commons Parkway and Pine Valley

**Section 2.** That conflicting Ordinances or pertinent portions thereof in force the time this takes effect are hereby repealed.

**Section 3.** Any person violating this Ordinance shall be subject to the penalties of Article VII (Traffic Code), Chapter 70 (General Provisions), Section 70.999 (Penalty).

**Section 4.** This Ordinance shall be in full force and effect from and after its passage, approval and publication, in pamphlet, all as provided by law.

**PASSED** by the City Council of the City of Belleville, Illinois, on this 21<sup>st</sup> day of November, 2022 on the following roll call vote:

	<b><u>AYE</u></b>	<b><u>NAY</u></b>
Joe Hazel	_____	_____
Bryan Whitaker	_____	_____
Carmen Duco	_____	_____
Jamie Eros	_____	_____

Kent Randle \_\_\_\_\_  
Scott Ferguson \_\_\_\_\_  
Johnnie Anthony \_\_\_\_\_  
Raffi Ovian \_\_\_\_\_  
Ed Dintelman \_\_\_\_\_  
Shelly Schaefer \_\_\_\_\_  
Dr. Mary Stiehl \_\_\_\_\_  
Chris Rothweiler \_\_\_\_\_  
Phil Elmore \_\_\_\_\_  
Dennis Weygandt \_\_\_\_\_  
Roger Wigginton \_\_\_\_\_  
Nora Sullivan \_\_\_\_\_  
Kara Osthoff \_\_\_\_\_

APPROVED by the Mayor of the City of Belleville, Illinois this 22<sup>nd</sup> day of November, 2022.

\_\_\_\_\_  
PATTY GREGORY, MAYOR

ATTEST:

\_\_\_\_\_  
JENNIFER GAIN MEYER, CITY CLERK

**ORDINANCE NO. 9100-2022**

**AN ORDINANCE AMENDING ARTICLE VII (TRAFFIC CODE),  
CHAPTER 75 (TRAFFIC SCHEDULES) OF THE REVISED  
ORDINANCES OF THE CITY OF BELLEVILLE, ILLINOIS AS  
AMENDED, BY AMENDING PORTIONS OF SECTIONS THEREOF**

THE CITY OF BELLEVILLE, ST. CLAIR COUNTY, ILLINOIS (THE "CITY"), IS A DULY ORGANIZED AND EXISTING MUNICIPALITY CREATED UNDER THE PROVISIONS OF THE LAWS OF THE STATE OF ILLINOIS.

THE CITY OF BELLEVILLE IS NOW OPERATING UNDER THE PROVISIONS OF THE ILLINOIS MUNICIPAL CODE, AS SUPPLEMENTED AND AMENDED AND AS A HOME RULE MUNICIPALITY PURSUANT TO ARTICLE VII OF THE ILLINOIS CONSTITUTION OF 1970; AND IN THE EXERCISE OF ITS HOME RULE POWERS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BELLEVILLE, ILLINOIS:

**Section 1.** That Chapter 75 (Traffic Schedules), Schedule IV (Specific Speed Limits), Section (B) (Specific Speed of 20 mph) is hereby amended by creating a school speed zone of 20 mph at the following location:

Location

7401 Westchester Dr. from S. 74<sup>th</sup> St. to Sheffield Dr.

**Section 2.** That conflicting Ordinances or pertinent portions thereof in force the time this takes effect are hereby repealed.

**Section 3.** Any person violating this Ordinance shall be subject to the penalties of Article VII (Traffic Code), Chapter 70 (General Provisions), Section 70.999 (Penalty).

**Section 4.** This Ordinance shall be in full force and effect from and after its passage, approval and publication, in pamphlet, all as provided by law.

**PASSED** by the City Council of the City of Belleville, Illinois, on this 21<sup>st</sup> day of November, 2022 on the following roll call vote:

	<b><u>AYE</u></b>	<b><u>NAY</u></b>
Joe Hazel	_____	_____
Bryan Whitaker	_____	_____
Carmen Duco	_____	_____
Jamie Eros	_____	_____

Kent Randle \_\_\_\_\_  
Scott Ferguson \_\_\_\_\_  
Johnnie Anthony \_\_\_\_\_  
Raffi Ovian \_\_\_\_\_  
Ed Dintelman \_\_\_\_\_  
Shelly Schaefer \_\_\_\_\_  
Dr. Mary Stiehl \_\_\_\_\_  
Chris Rothweiler \_\_\_\_\_  
Phil Elmore \_\_\_\_\_  
Dennis Weygandt \_\_\_\_\_  
Roger Wigginton \_\_\_\_\_  
Nora Sullivan \_\_\_\_\_  
Kara Osthoff \_\_\_\_\_

APPROVED by the Mayor of the City of Belleville, Illinois this 22<sup>nd</sup> day of November, 2022.

\_\_\_\_\_  
PATTY GREGORY, MAYOR

ATTEST:

\_\_\_\_\_  
JENNIFER GAIN MEYER, CITY CLERK

SYS DATE:11/16/22

CITY OF BELLEVILLE  
C L A I M S H E E T  
Monday November 21,2022

SYS TIME:11:51  
[NCS]  
PAGE 8

DATE: 11/21/22

VENDOR #	NAME	DEPT.	AMOUNT
=====			
13	MOTOR FUEL TAX FUND		
1547	THOUVENOT, WADE, & MOERCHEN INC	13-00	755.33
486	HANK'S EXCAVATING & LANDSCAPING,	13-00	5,725.58
CO075	CONCRETE SUPPLY OF ILLINOIS	13-00	718.75
EL001	ELECTRICO, INC.	13-00	690.01
LO029	LOCHMUELLER GROUP	13-00	725.00
	**TOTAL		8,614.67
	13 MOTOR FUEL TAX FUND	GRAND TOTAL	8,614.67